

COUNTY COUNCIL OF BEAUFORT COUNTY  
ADMINISTRATION BUILDING  
BEAUFORT COUNTY GOVERNMENT ROBERT SMALLS COMPLEX  
100 RIBAUT ROAD  
POST OFFICE DRAWER 1228  
BEAUFORT, SOUTH CAROLINA 29901-1228  
TELEPHONE: (843) 255-2180  
www.bcgov.net

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GERALD W. STEWART  
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COUNTY ATTORNEY

ASHLEY M. BENNETT  
CLERK TO COUNCIL

AGENDA  
NATURAL RESOURCES COMMITTEE

Monday, November 20, 2017

3:00 p.m.

Executive Conference Room, Administration Building  
Beaufort County Government Robert Smalls Complex  
100 Ribaut Road, Beaufort

Committee Members:

Brian Flewelling, Chairman  
Roberts "Tabor" Vaux, Vice Chairman  
Rick Caporale  
Gerald Dawson  
Steve Fobes  
York Glover  
Alice Howard

Staff Support:

Anthony Criscitiello, Planning Director  
Gary James, Assessor  
Eric Larson, Division Director  
Environmental Engineering  
Dan Morgan, Mapping & Applications Director

1. CALL TO ORDER –**3:00 P.M.**
2. DISCUSSION / PREVIOUS PLANNING COMMISSION MEETING
3. CONSIDERATION OF CONTRACT AWARD / SOLE SOURCE PURCHASE OF THREE NEW HOMES FOR THE BEAUFORT COUNTY DISABILITIES AND SPECIAL NEEDS DEPARTMENT (backup)
4. DISCUSSION / KEEP BEAUFORT COUNTY BEAUTIFUL BOARD (backup)
5. DISCUSSION OF POTENTIAL CHANGES TO COMMUNITY DEVELOPMENT CODE / COMPREHENSIVE FUTURE LAND USE MAP
6. PRESENTATION / TYLER TECHNOLOGIES / ENERGGOV PLANNING, PERMITTING AND LICENSING SOFTWARE (backup)
7. DISCUSSION / REGIONAL STORMWATER UTILITY CONCEPT AND RECOMMENDED EXPLORATORY COMMITTEE (backup)
8. CONDEMNATION OF A DRAINAGE EASEMENT ON PROPERTY LOCATED OFF OF HALIFAX ROAD, ST. HELENA ISLAND (backup)
9. CONSIDERATION OF REAPPOINTMENTS AND APPOINTMENTS
  - A. Planning Commission
  - B. Southern Beaufort County Corridor Beautification Board
10. ADJOURNMENT



Agenda – Natural Resources Committee  
November 20, 2017  
Page 2

2017 Strategic Plan Committee Assignments

Hilton Head National Rezoning/Development Agreement  
Priority Investment – Capital Projects Long-Term Prioritized Requirements  
Passive County Parks: Plan, Funding  
Comprehensive Countywide System/Stormwater Utility (Agreements with Municipalities)  
2018 Priority Projects: Immediate Opportunities  
Stormwater Management Program/Policy: Implementation  
Okatie River Restoration: Funding  
May River Action Plan  
Rivers and Creeks Water Quality: Evaluation  
Transfer of Development Rights  
Buckingham Plantation Community Development Plan: Amendment



# COUNTY COUNCIL OF BEAUFORT COUNTY

## PURCHASING DEPARTMENT

102 Industrial Village Road, Bldg 2 - Post Office Drawer 1228  
Beaufort, South Carolina 29901-1228

**TO:** Council Member Brian E. Flewelling, Chairman, Natural Resources Committee

**FROM:** Dave Thomas, CPPO, Purchasing Director

**SUBJ:** **Sole Source Purchase Request of Three New Homes from Hutter Construction Corporation and Salt Line Construction for the Beaufort County Disabilities and Special Needs Department**

**DATE:** November 15, 2017

**BACKGROUND:** The Purchasing Department received a request from the Disabilities and Special Needs (DSN) Department to purchase three homes in support of replacing the Beaufort County Community Residential Care Facility located in the Town of Port Royal at 1508 Old Shell Road; this facility is aging and no longer meets Federal and State compliance requirements of those it is meant to serve. Transitioning the current residents of this facility into the requested homes will better enable DSN to provide the necessary ongoing care for them in safer, more appropriate housing, while also affording them the opportunity to be in a place which is better integrated into the fabric of Beaufort County.

These homes will be built to accommodate DSN consumers and will adhere to applicable ADA standards. In addition to having four bedrooms, each home will have two bathrooms and a staff office with a half-bath. The South Carolina Department of Disabilities and Special Needs (SCDDSN) will reimburse Beaufort County the full sale price of the current Port Royal property when sold, allowable via a budget proviso passed by the South Carolina General Assembly. SCDDSN will reimburse Beaufort County for the sprinkler system installation and \$8,000 per home for furnishings.

DSN encountered obstacles with developers not being able to accommodate the design specs for people with disabilities, as well as concerns about having DSN homes in certain communities. Consequently, staff negotiated the purchase price through competitive research after working with a local real estate agent to find suitable land and cooperative builders. The County's Small and Minority Business Provisions do not apply to this procurement. The recommended vendors are local firms.

### CONTRACTOR INFORMATION

### COST

1. Hutter Construction Corporation, Beaufort, SC (home in Live Oaks development)	\$ 350,000
2. Salt Line Construction, Port Royal, SC (home on Waddell Road)	\$ 350,000
3. Salt Line Construction, Port Royal, SC (home on Center Drive West)	<u>\$ 317,000</u>
	\$1,017,000

**FUNDING:** Fund balance account 24470011-54410 Disabilities and Special Needs - Building Acquisition. The fund balance exceeds the amount needed to purchase these three homes at \$3,483,090.99.

**FOR ACTION:** Natural Resources Committee meeting occurring November 20, 2017.

**RECOMMENDATION:** The Purchasing Department recommends that the Natural Resources Committee approve the contract awards to purchase the three homes from the aforementioned vendors for a total cost of \$1,017,000.

**CC:** Joshua A. Gruber, Interim County Administrator  
Alicia Holland, Assistant County Administrator, Finance  
Monica N. Spells, Assistant County Administrator, Civic Engagement and Outreach  
Bill Love, Disabilities and Special Needs Executive Director

### Attachments:

Home Plans and Pricing Information

Section 36.16, Proviso for FY 2017-18, South Carolina House Ways and Means Committee

**SUMMARY OF PROVISO CHANGES FOR FY 2017-18  
AS RECOMMENDED BY  
THE HOUSE WAYS AND MEANS COMMITTEE**

**SECTION 35 - J120 - DEPARTMENT OF MENTAL HEALTH**

- 35.7**     **AMEND** (Deferred Maintenance, Capital Projects, Ordinary Repair and Maintenance) Authorizes the department to establish an interest bearing fund with the State Treasurer to deposit deferred maintenance funds and other one-time funds from any source. Authorizes the department to spend these funds for deferred maintenance, capital projects and ordinary repair and maintenance. Authorizes the funds to be carried forward and used for the same purpose.  
**WMC:** AMEND proviso to delete specific reference to depositing funds “appropriated” for deferred maintenance and other one-time funds from any source. Authorize the department to retain and deposit into the fund the proceeds from the sale of excess real property owned by, under the control of, or assigned to the department. Requested by Department of Mental Health.
- 35.8**     **ADD** (Lease Payments to SFAA for SVP Program) **WMC:** ADD new proviso to exempt Sexually Violent Predator Program lease payments to SFAA from any across-the-board base reductions.

**SECTION 36 - J160 - DEPARTMENT OF DISABILITIES AND SPECIAL NEEDS**

- 36.7**     **AMEND** (Unlicensed Medication Providers) Authorizes the department to license or certify select unlicensed persons in community-based programs to provide select medications. Limits the medications allowed to be administered. Requires the department to establish curriculum and standards for training and oversight. Directs that this provision does not apply to an intermediate care facility for individuals with intellectual and/or related disability.  
**WMC:** AMEND proviso to change “selected” to “designated” unlicensed persons. Direct that unlicensed persons must have documented “successful completion of” medication training and direct that in addition to nurses, “licensed pharmacists and licensed medical doctors” may train and supervise designated unlicensed persons to provide medication. Amend the type of medications designated unlicensed persons may provide. Require a written or electronic record about each medication be provided as part of the provision of medication. Direct that nurses, pharmacists and medical doctors that train, approve, and supervise designated unlicensed persons shall be protected against tort liability. Requested by Department of Disabilities and Special Needs.
- 36.16**     **ADD** (Beaufort DSN Facility) **WMC:** ADD new proviso to authorize the department to retain the full amount of proceeds from the sale of the local DSN Board of Beaufort County property. Direct that funds from the sale must be used to purchase new property for the local DSN Board that better meets the needs of those served. Authorize unexpended funds to be carried forward and used for the same purpose. Direct the department to provide a status report to the Beaufort County Legislative Delegation by June 30, 2018 that details the retention of any sale proceeds and/or expenditures of the funds.

**SECTION 38 - L040 - DEPARTMENT OF SOCIAL SERVICES**

- 38.3**     **AMEND** (~~Foster Children~~ Burial Expenses) Directs that the expenditure of funds allocated for burials of foster children not exceed \$1,500 per burial.  
**WMC:** AMEND proviso to include adults who are in DSS custody. Requested by Department of Social Services.



SCALE: 1/8" = 1'-0"

S50°44'01"W  
20.30'  
1/2" REBAR FOUND

5X5  
CMF

3X3  
CMF

N 00°02'00" E 95.00'

14-CONFIDENTIAL

CHAIN LINK FENCE 14

1/2" ROD  
SET

**1 SITE PLAN**  
A101 SCALE: 1/8" = 1'-0"

**LOT 74**  
13,557.45 Sq. Feet  
0.31 Acres

LOT 753

☐ RELEASED FOR CONSTRUCTION  
☒ NOT FOR CONSTRUCTION

**TMA** ARCHITECT  
T. MICHAELS - ARCHITECT  
PORT ROYAL, SC  
843.252.2154

**NEW RESIDENCE:  
608 CENTER DRIVE WEST  
BEAUFORT, SOUTH CAROLINA**

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							6
							5
							4
							3
							2
							1
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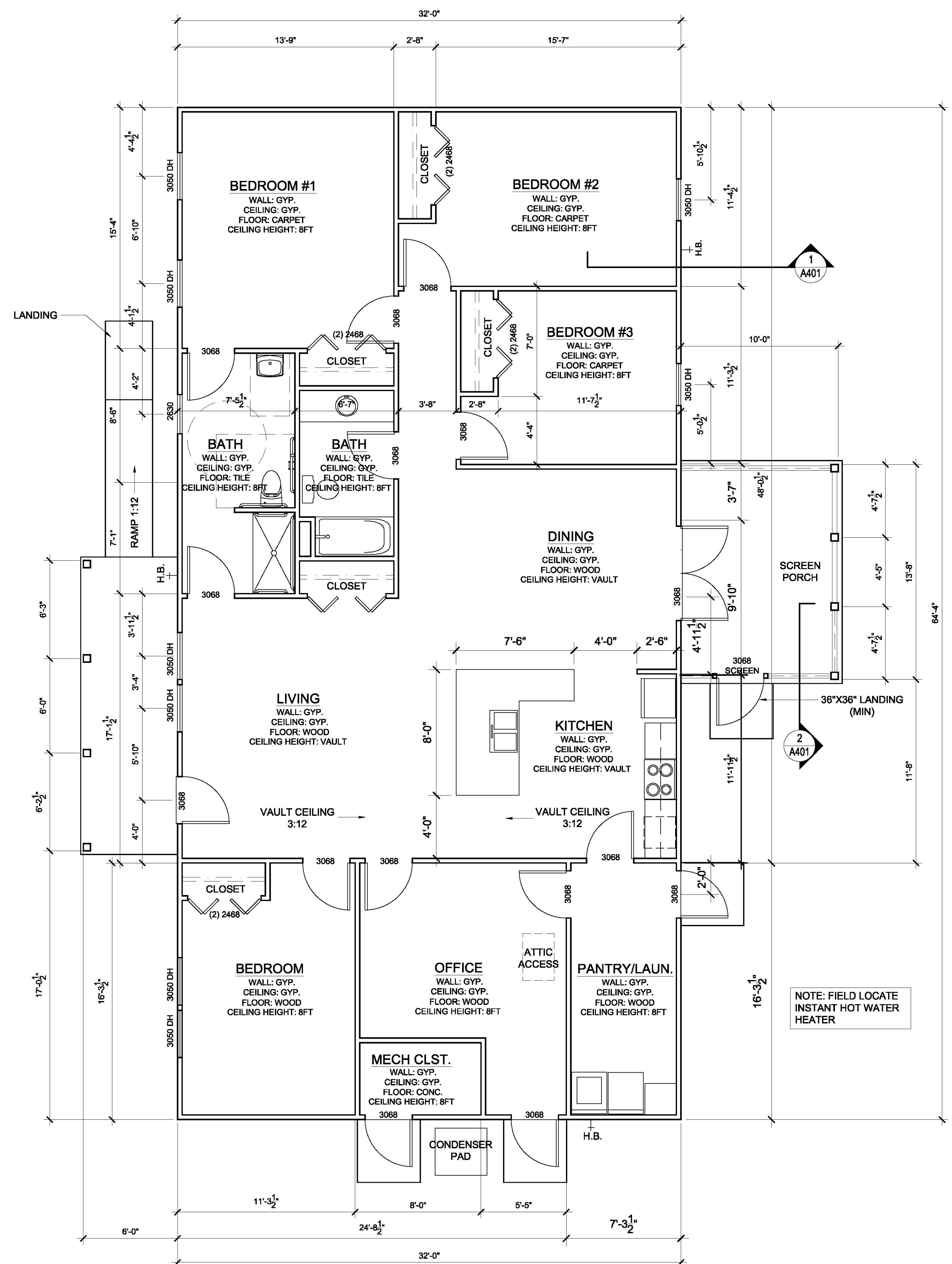
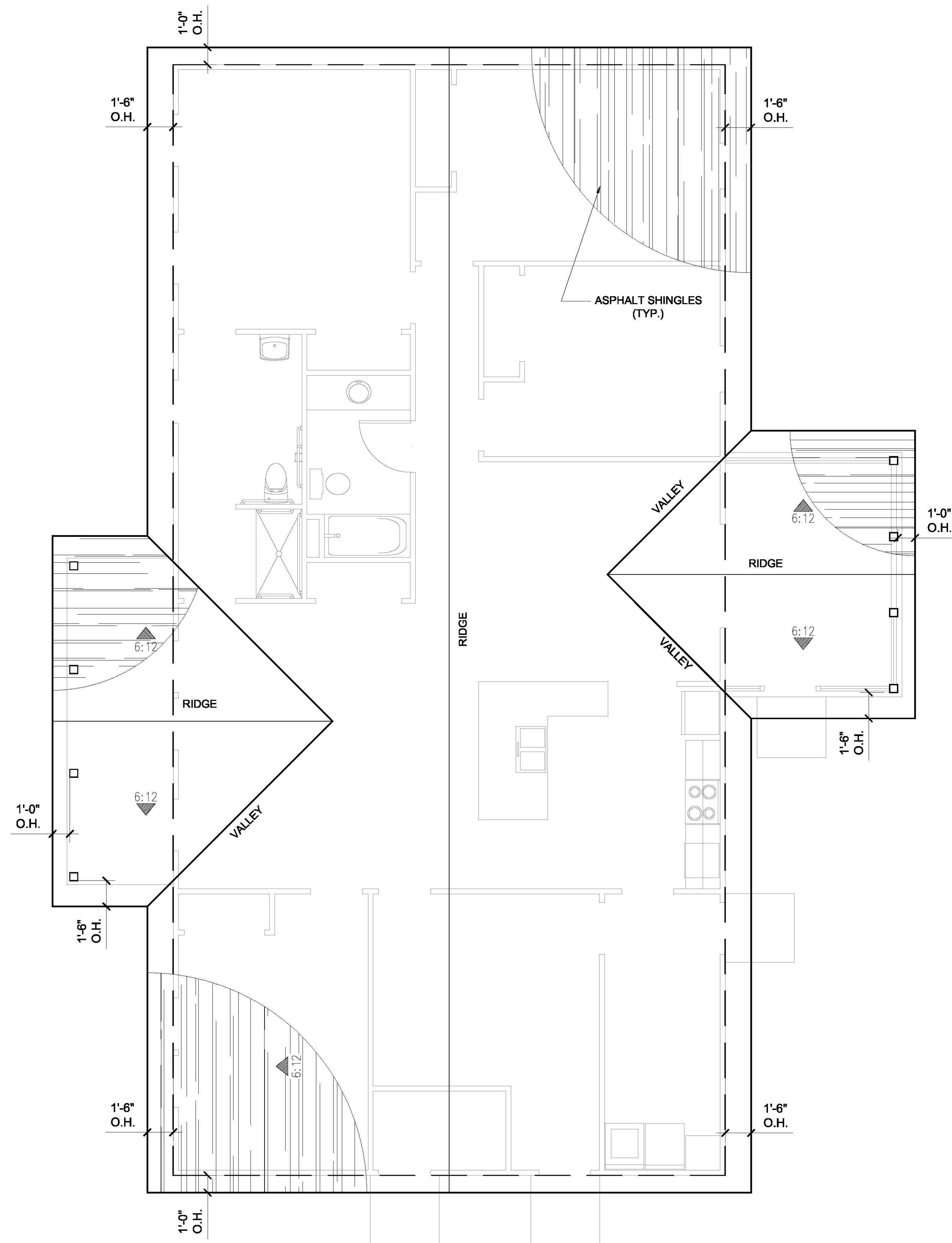
Sheet Title

**SITE PLAN**

Drawn By:	T. Michael
Chk'd By:	T. Michael
Project ID:	17-01

Sheet No.  
**A101**

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**TMA** ARCHITECT  
T. MICHAELS - ARCHITECT  
PORT ROYAL, SC  
843.252.2454

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Sheet Title

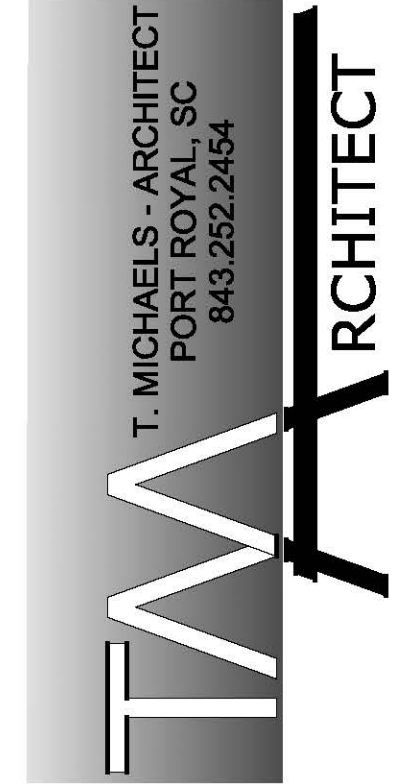
FOUNDATION  
' FLOOR PLAN

Drawn By:	T. Michael
Chk'd By:	T. Michael
Project ID:	17-01

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WALL FOOTING SCHEDULE	
MARK	DESCRIPTION
WF-1	16" WIDE x 22" DEEP TURNED DOWN FOOTING W/ (2) #5 CONTINUOUS BARS AT BOTTOM
WF-2	12" WIDE x 20" DEEP TURNED DOWN FOOTING W/ (2) #5 CONTINUOUS BARS AT BOTTOM

☐ RELEASED FOR CONSTRUCTION  
☒ NOT FOR CONSTRUCTION



NEW RESIDENCE:  
608 CENTER DRIVE WEST  
BEAUFORT, SOUTH CAROLINA

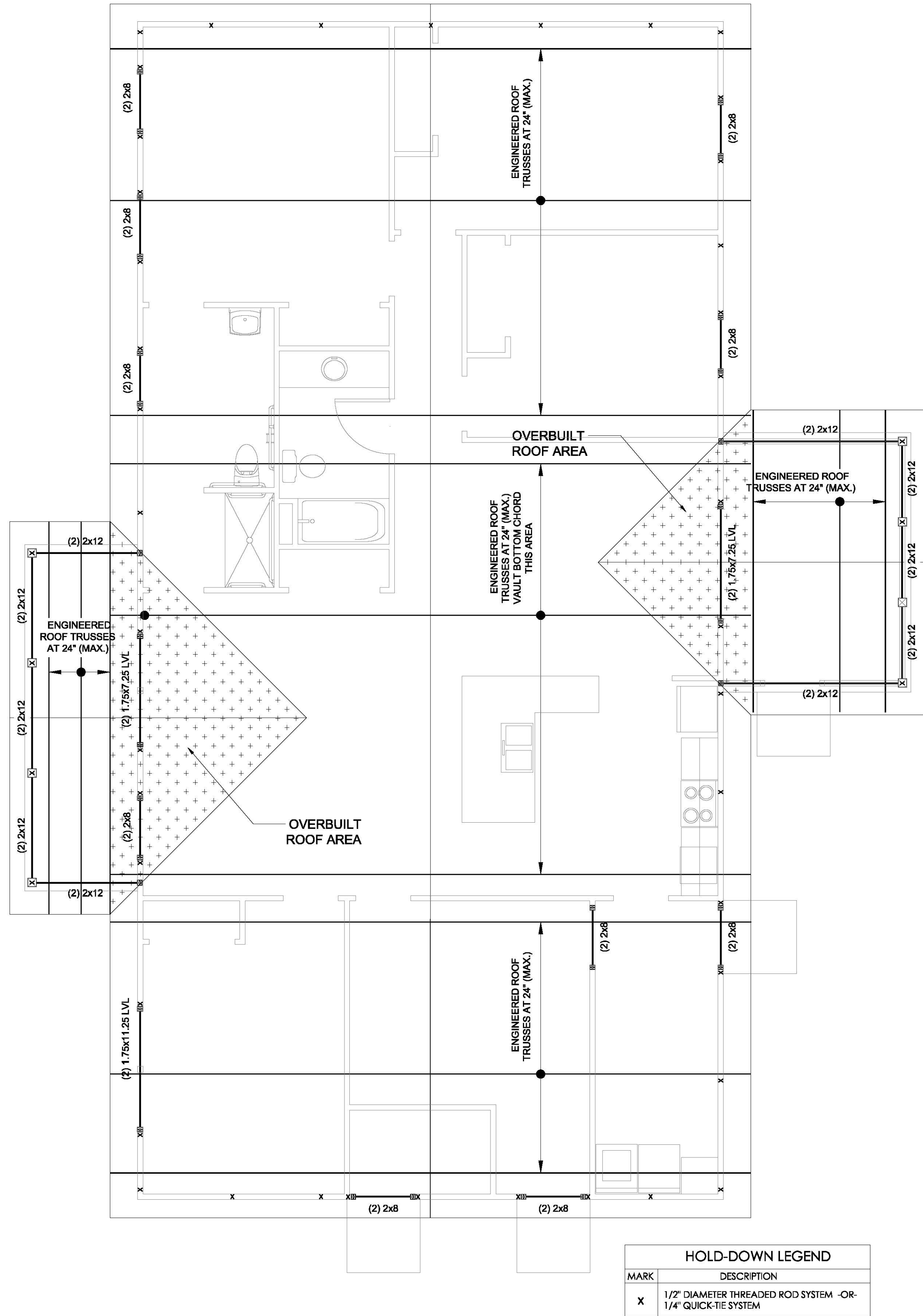
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Sheet Title  
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ROOF  
FRAMING  
PLAN**

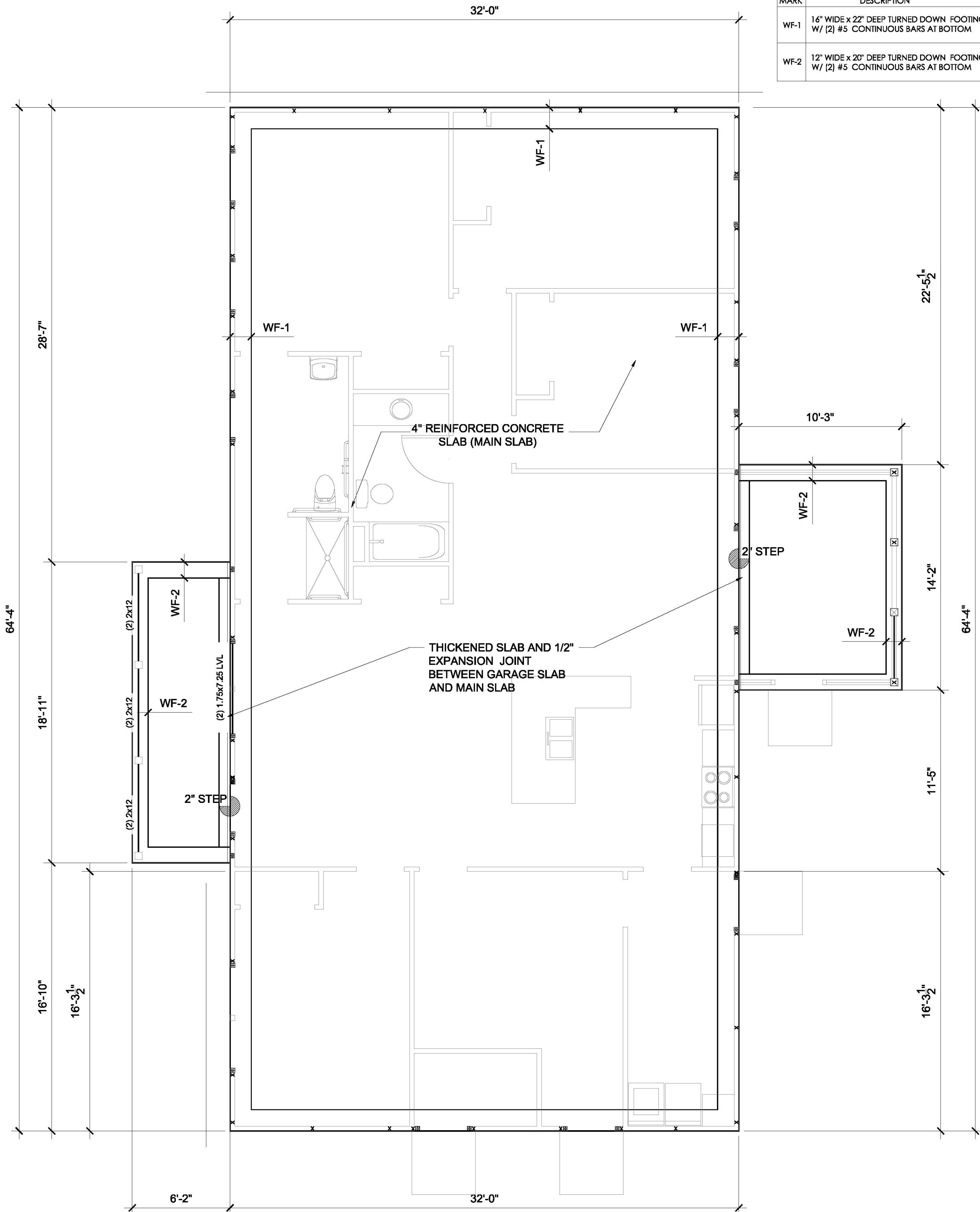
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Chk'd By: T. Michaels  
Project ID: 17-013

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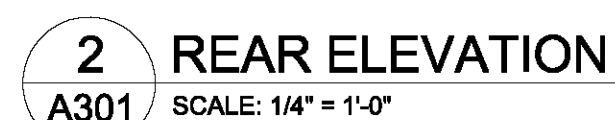
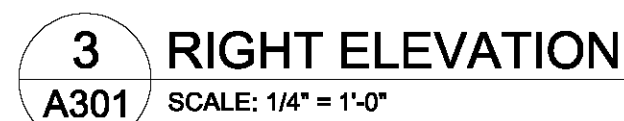
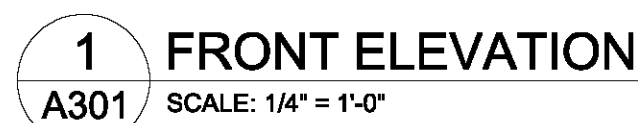
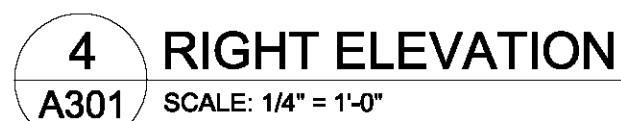
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2 FOUNDATION PLAN  
A201 SCALE: 1/4" = 1'-0"



2 FOUNDATION PLAN  
A201 SCALE: 1/4" = 1'-0"

The logo for T.M. Architects features the letters 'T.M.' in a large, stylized, white font against a dark background. Below the letters, the text 'T. MICHAELS - ARCHITECT' and 'PORT ROYAL, SC' is written in a smaller, white, sans-serif font. To the right of the main text, the phone number '843.252.2454' is displayed. The entire logo is set within a white rectangular box.

**T.M.**  
T. MICHAELS - ARCHITECT  
PORT ROYAL, SC  
843.252.2454

**NEW RESIDENCE:  
608 CENTER DRIVE WEST  
BEAUFORT, SOUTH CAROLINA**

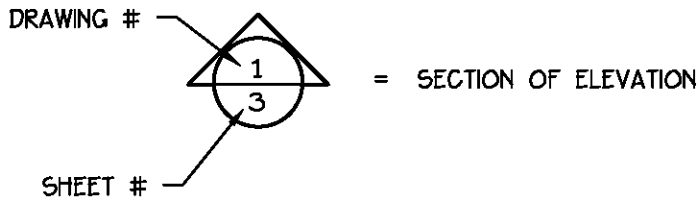
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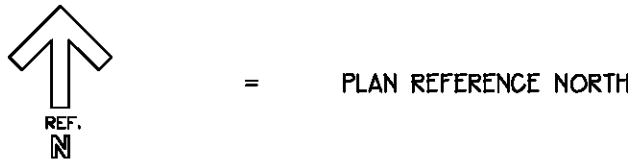
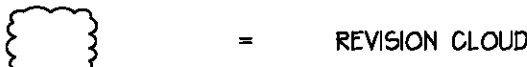
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SYMBOLS + KEYS

DOOR AND WINDOW SIZE KEY  
2860 = 2'-8" WIDE x 6'-0" HIGH



1 DRAWING TITLE  
DETAIL OR ELEVATION NUMBER



	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	DUPLEX OUTLET
	WATER PROOF OUTLET
	GROUND FAULT OUTLET
	SPECIALTY OUTLET
	FLOOR OUTLET
	TELEPHONE JACK
	TELEVISION JACK
	VENT
	VENT W/ LIGHT
	SURFACE MOUNTED FIXTURE
	RECESSED FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	FLOURESCENT FIXTURE
	CEILING FAN
	STRIP LIGHTING
	CEILING BOX
	DOOR CHIME
	ELECTRICAL PANEL
	SMOKE ALARM



CONCEPTUAL RENDERING

DRAWING INDEX

- 0 COVER SHEET
- 1 FLOOR, ROOF + ELECTRICAL PLAN
- 2 FOUNDATION PLAN
- 3 DETAILS
- 4 ELEVATIONS
- SP1 SPECIFICATIONS
- SP2 SPECIFICATIONS
- SP3 SPECIFICATIONS

GENERAL INFO.

AREA CALCULATIONS	
FIRST FLOOR HEATED	1285 sq. ft.
COVERED PORCHES	147 sq. ft.
DECK	31 sq. ft.

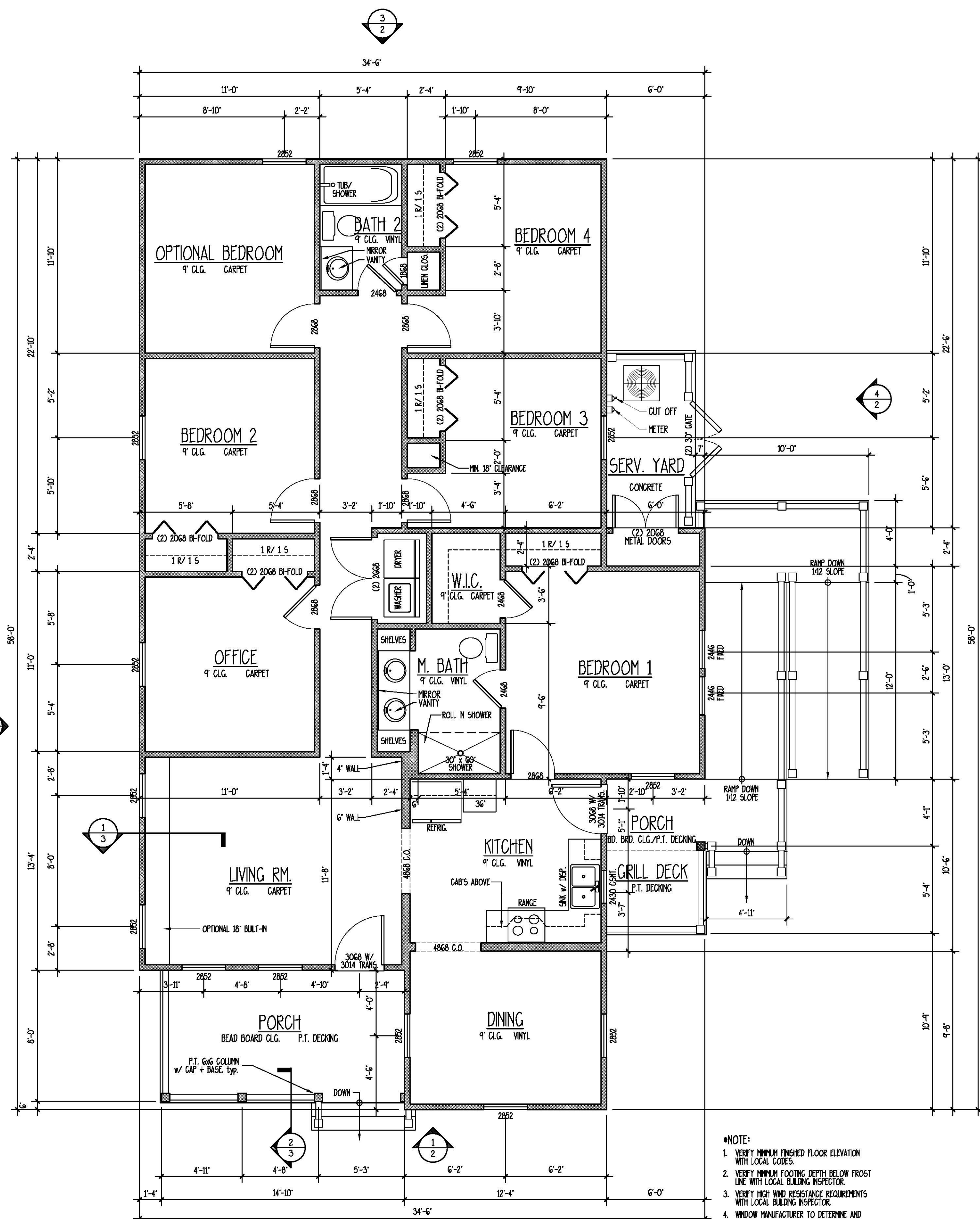
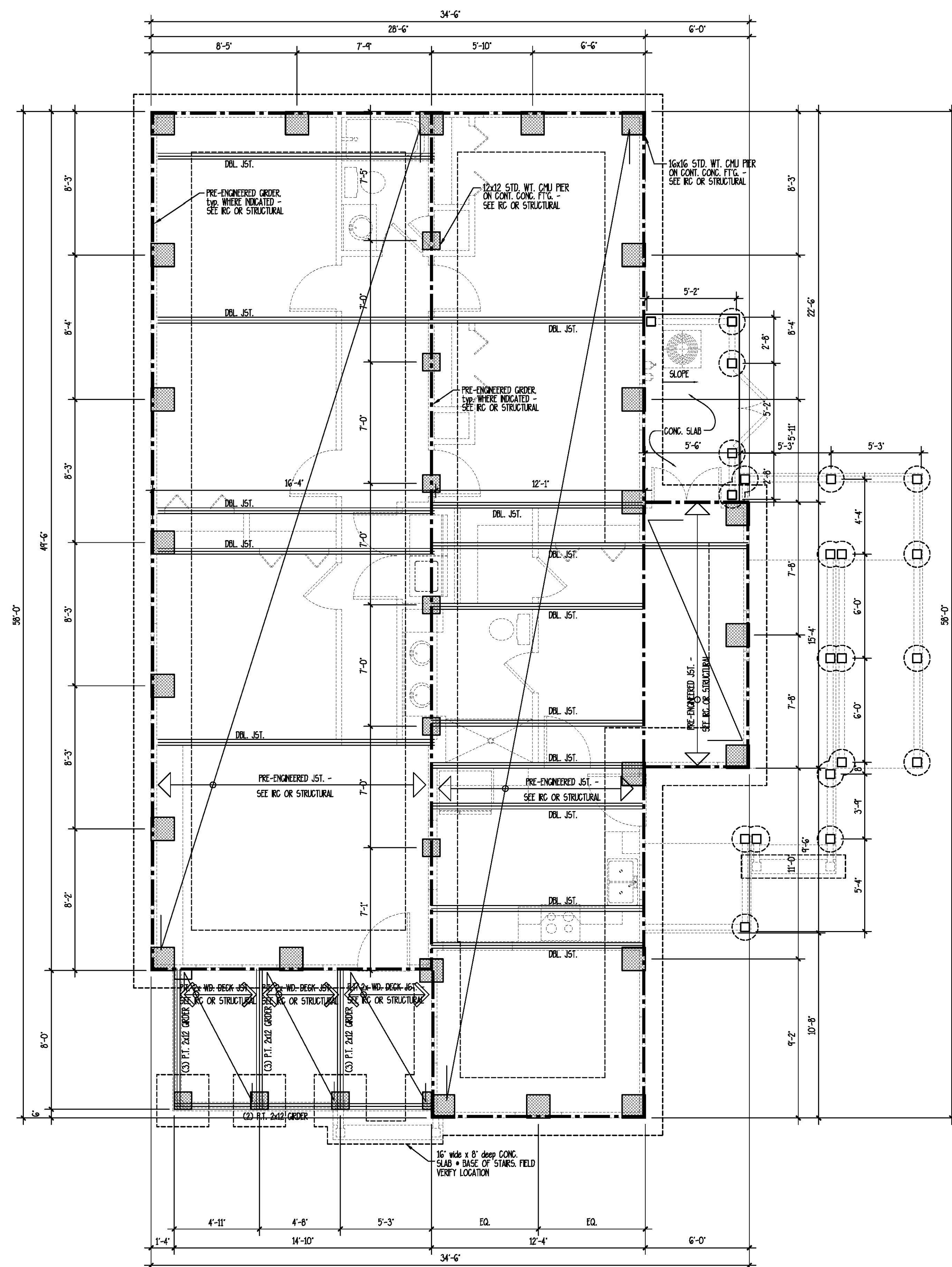
DUKE STREET

DATE :	11/03/17
JOB NO. :	173334
DWN BY :	JC
DRAWING NAME :	Model C 4.dwg

ARA  
ALLISON RAMSEY  
Architects, Inc. creating sustainable timeless design  
1003 Charles St.  
Beaufort SC, 29902  
(843) 986-0559  
www.allisonramseyarchitect.com

THIS PLAN HAS BEEN PREPARED TO MEET TOP PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PACKAGE OF THIS PLAN TO PERFORM THE FOLLOWING: -VERIFY ALL DIMENSIONS, ROOM TO PROCEEDING WITH CONSTRUCTION -VERIFY COMPLIANCE WITH ALL LOCAL CODES -PLANS INDICATE LOCATIONS ONLY, ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS. -PLANS INDICATE LOCATIONS ONLY, ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS. -VERIFY ALL DIMENSIONS, ROOM TO PROCEEDING WITH CONSTRUCTION -VERIFY COMPLIANCE WITH ALL LOCAL CODES -PLANS INDICATE LOCATIONS ONLY, ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS. -VERIFY ALL DIMENSIONS, ROOM TO PROCEEDING WITH CONSTRUCTION -VERIFY COMPLIANCE WITH ALL LOCAL CODES -PLANS INDICATE LOCATIONS ONLY, ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.





## FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

**\*NOTE:**

1. VERIFY MINIMUM FINISHED FLOOR ELEVATION WITH LOCAL CODES.
2. VERIFY MINIMUM FOOTING DEPTH BELOW FROST LINE WITH LOCAL BUILDING INSPECTOR.
3. VERIFY HIGH WIND RESISTANCE REQUIREMENTS WITH LOCAL BUILDING INSPECTOR.
4. WINDOW MANUFACTURER TO DETERMINE AND VERIFY THAT ALL EGRESS WINDOWS ARE IN COMPLIANCE WITH LOCAL CODES.

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DATE: 11/03/17

JOB NO. : 173134

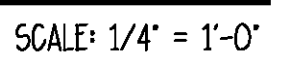
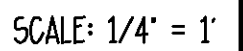
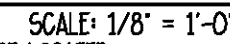
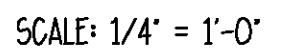
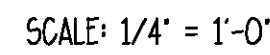
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DRAWING NAME : 173134

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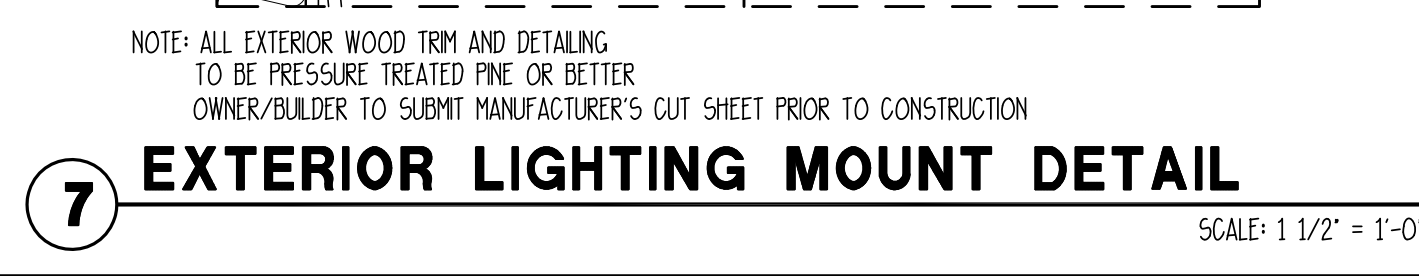
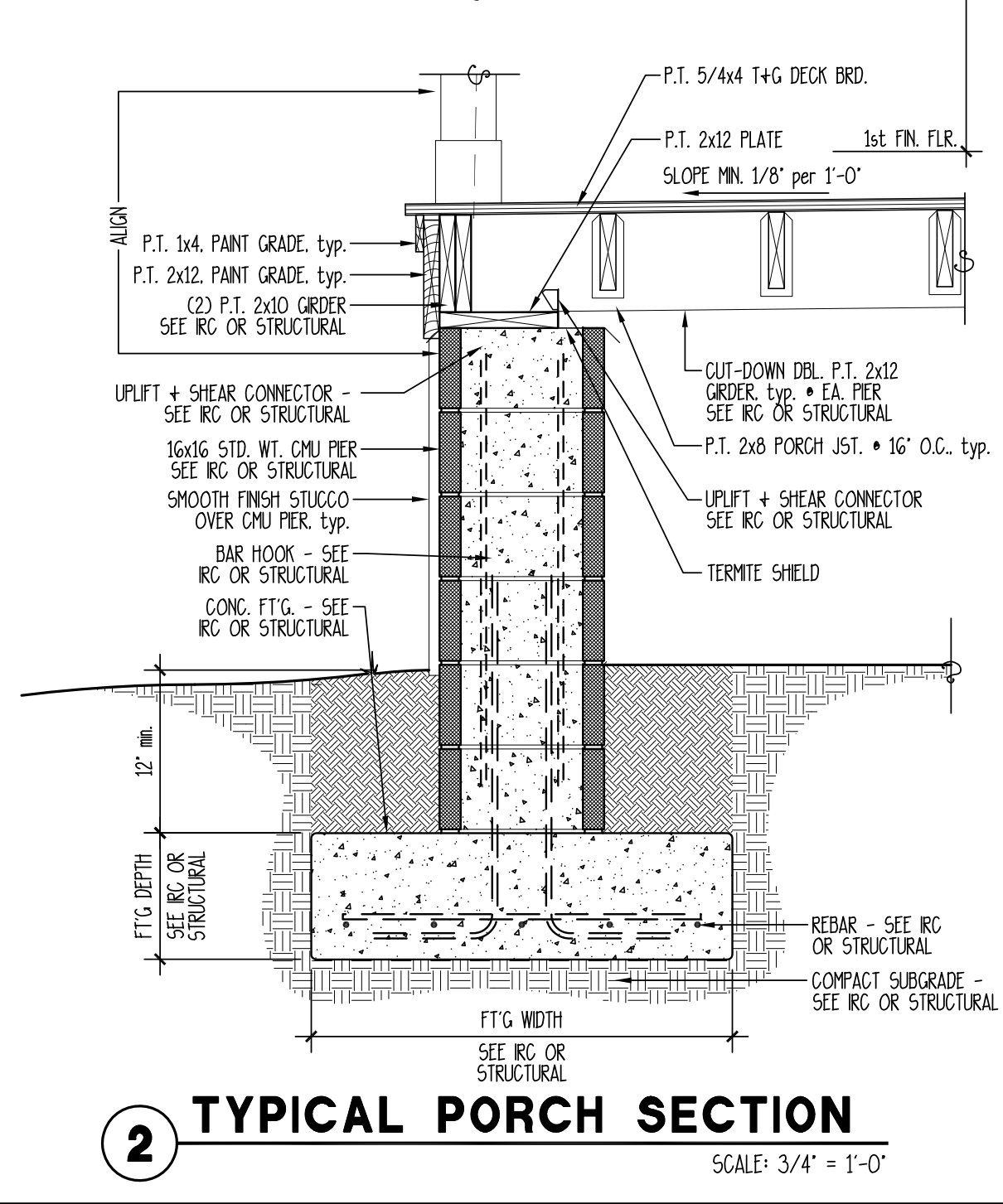
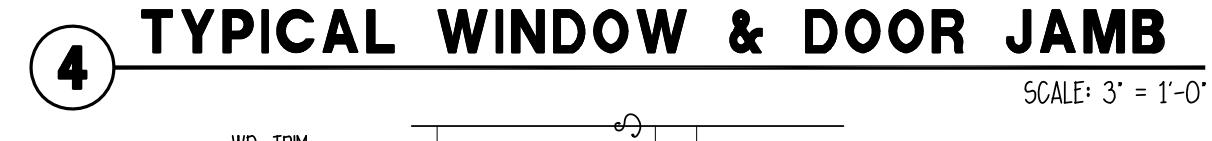
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**DUKE STREET**  
WRIGHTS POINT  
BEAUFORT COUNTY, SOUTH CAROLINA

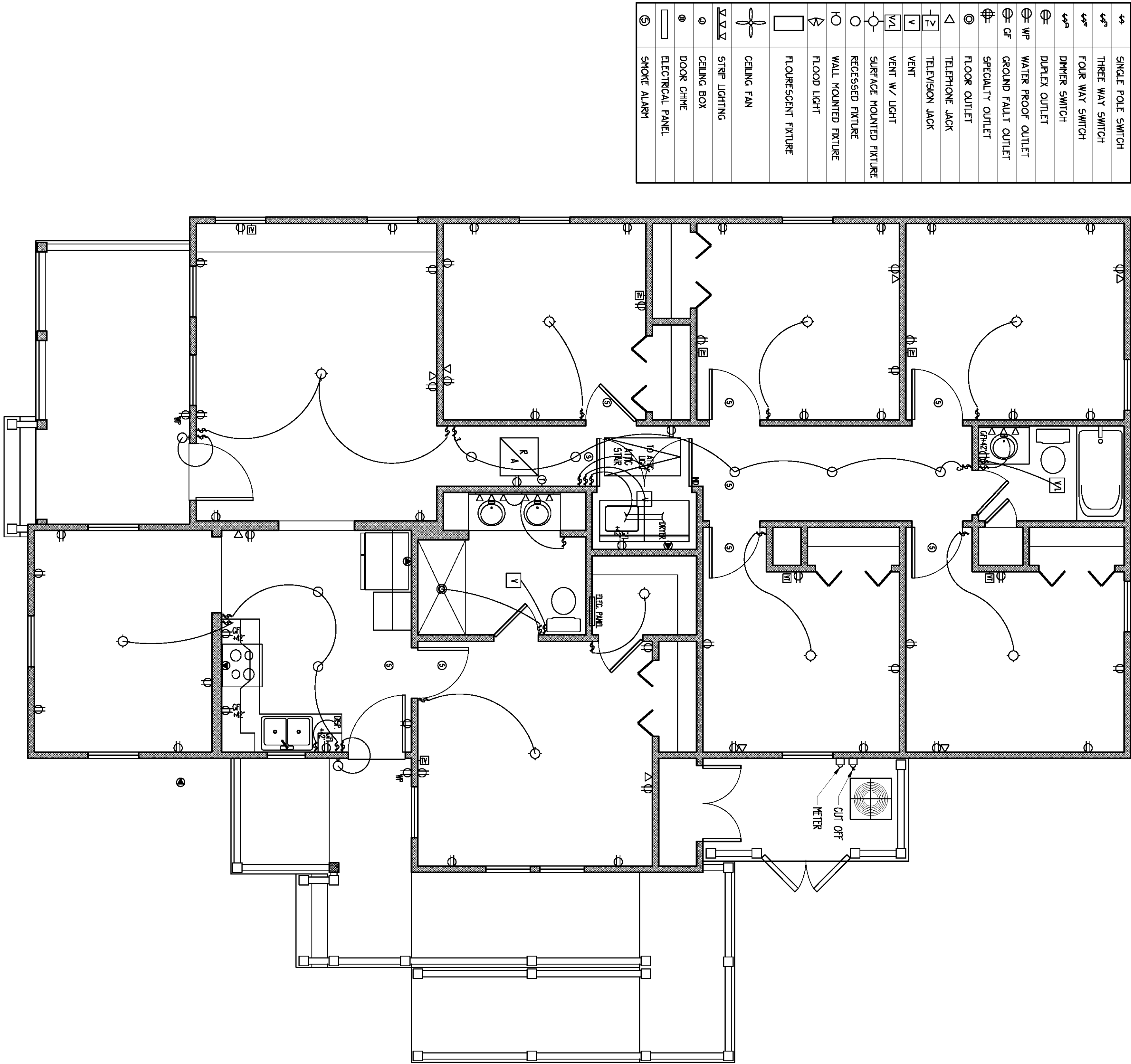


DUKE STREET  
WRIGHTS POINT  
BEAUFORT COUNTY, SOUTH CAROLINA









	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	DATA OUTLET
	WATER PROOF OUTLET
	GROUND FAULT OUTLET
	SPECIALTY OUTLET
	FLOOR OUTLET
	TELEPHONE JACK
	TELEVISION JACK
	VENT W/ LIGHT
	SURFACE MOUNTED FIXTURE
	RECESSED FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	FLOURESCENT FIXTURE
	CEILING FAN
	STRIP LIGHTING
	CEILING BOX
	DOOR CHIME
	ELECTRICAL PANEL
	SMOKE ALARM

FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

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4

DATE :	11/03/17
JOB NO. :	173134
DWN BY :	JC
DRAWING NAME :	173134

THIS PLAN HAS BEEN PREPARED TO MEET TOP PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING CONSTRUCTION. ALLISON RAMSEY ARCHITECTS, INC. ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN.

- VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION
- VERIFY COMPLIANCE WITH ALL LOCAL CODES
- PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.
- HVAC & PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL MECH CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE AND THAT EQUIPMENT IS SIZED CORRECTLY FOR YOUR PARTICULAR REGION AND CONDITIONS.
- VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER AND/OR ARCHITECT.

ARA

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DUKE STREET

WRIGHTS POINT

BEAUFORT COUNTY, SOUTH CAROLINA

CONTRACT SPECIFICATIONS

The following project specifications are intended as a minimum standard to be used in conjunction with the Contract Drawings.

Compliance with each of the following Specification sections is necessary where applicable or referenced by said drawings:

All work associated with the Contract Drawings shall be in conformance with the latest edition of the International Residential Code, (IRC) or other codes, applicable to the jurisdiction where the project shall be constructed. The Contractor shall refer to applicable sections of the IRC as referenced herein specifically Chapter 1, Administration.

-The "Green Recommendation" subheadings outline practices recommended to be followed for a greener method of construction. These recommendations are to be followed at the Builders discretion and do not imply any level of sustainability for the design. Refer to LEED for Homes Rating System ([http://www.greenhomeguide.org/documents/leed\\_for\\_homes\\_rating\\_system.pdf](http://www.greenhomeguide.org/documents/leed_for_homes_rating_system.pdf)) and ENERGY STAR Guidelines for Qualified New Homes ([http://www.energystar.gov/index.cfm?c=ehdr\\_raters\\_raters\\_homes\\_guidelines](http://www.energystar.gov/index.cfm?c=ehdr_raters_raters_homes_guidelines)) for more information. An asterisk (\*) indicates this recommendation is a mandatory pre-requisite for the LEED for Homes Rating System. The @Green Recommended Manufacturers (and Products)\* subheadings outline some examples of Green products and are listed according to [www.buildinggreen.com](http://www.buildinggreen.com), [www.greenhomeguide.org](http://www.greenhomeguide.org), and other sources.

DIVISION I GENERAL CONDITIONS

ARCHITECTURAL DRAWINGS AND SPECIFICATIONS, ERRORS AND OMISSIONS

a. The Contractor shall notify the Architect in writing of any errors, discrepancies, or omissions in the Contract Documents.

b. The Contractor shall be held responsible for the results of any errors, discrepancies, or omissions which the Contractor failed

to notify the Architect of before construction and/or fabrication of the work.

SPECIFICATION AND DRAWINGS EXPLANATION: For convenience of reference and to facilitate the letting of contracts and subcontracts, these specifications are separated into titled sections. Such separations shall not, however, operate to make the Architect an arbiter to establish limits to contracts between the Contractor and Subcontractor.

SUBSTITUTION: The Contractor shall submit manufacturers literature and test data for the Owner's approval, for materials or equipment which the Contractor represents as "equal" to that specified and intends to incorporate into the work. Substitution of materials, systems, or manufacturers from those specified herein by the Contractor without prior written approval from the Owner or Architect is forbidden and shall be at the sole risk of the Contractor.

TRUSS DRAWINGS: A complete set of truss drawings certified in accordance with local authority shall be delivered to the architect.

Refer to the Engineer's calculations for any questions regarding lumber grades, beam and header sizes, footing and shear requirements.

NO deviations from the structural details shall be made without the written approval of the Structural Engineer.

Approval by city/county inspector does not constitute authority to deviate from the plans or specifications.

Subcontractor shall notify Contractor, and Contractor shall notify Architect of any errors, omissions, or discrepancies in the plans and/or specifications, so Architect can rectify corrections or omissions prior to commencement of construction. The Contractor and Subcontractor shall verify all dimensions and job conditions at the job site prior to commencing work. All work shall be done in compliance with local codes or IRC.

DO NOT SCALE DRAWINGS.

All workmanship shall be of the highest quality and is subject to inspections by the building department, local authorities, lending institutions, Architect or Owner.

Any one, or all of the above mentioned inspectors may inspect workmanship at any time. Any work identified as non-compliant with construction documents shall be removed and reworked, repaired, or replaced, at the discretion of the Owner or Owners Agent.

The Jobsite shall be maintained in a clean and organized manner. All Tradesman involved in the work shall be responsible for daily housekeeping and removing from the job site all trash and debris. The jobsite shall be completely clean and organized at the end of each weeks work.

It is the responsibility of each subcontractor to cooperate fully with the Job Superintendents in protecting all work through the entire course of construction. Each subcontractor shall be responsible for promptly notifying Job Superintendent of any damage existing prior to the start of their work.

ALLOWANCES

Definitions and Explanations: Allowances for certain categories of work specified herein are provided for the purpose of enabling and expediting contract pricing. A final Schedule of Allowance for materials, labor, equipment, and finishes customarily selected by the owner shall be submitted for verification and acceptance by the owner prior to commencement of the contract work.

Adjustments to the contract (up or down) due to owners selections will be issued by change order.

Allowances include but are not limited to lump sum allowances and unit cost allowances.

Selection and Purchase: At earliest feasible date after award of contract, advise Owner at schedule date when final selection and purchase of each product or system described by each allowance must be accomplished in order to avoid delays in performance of the work.

The Contractor shall obtain and submit cost proposals for work represented by each allowance for use in making final selections.

Purchase products and systems as specifically selected (in writing) by the Owner.

Unit-cost allowances: Submit a substantiated survey of quantities of materials, as shown in the "Schedule of Values," revised where necessary, and corresponding with change order quantities.

Each change order amount for unit-cost type allowances shall be based solely on the difference between the actual unit purchase amount and the unit allowance, multiplied by the final measure or count of work-in-place, with customary allowances, where applicable, for cutting wastes, tolerances, mixing wastes, normal product imperfections and similar margins.

The Owner reserves the right to establish the actual quantity of work-in-place by an independent quantity survey, measure or count.

Schedule of Allowances		
Description	Remarks	Allowance
Appliances Range	Allowance includes Conds. Cut-off valves and fittings required	\$
Cook-top	for complete installation. Rough-in Labor + Installation costs	\$
Oven	included in Contractor's Base Bid.	\$
Microwave	"	\$
Refrigerator	"	\$
Dishwasher	"	\$
Washer	"	\$
Dryer	"	\$
Water Heater	"	\$
Other	"	\$
Appliance Total Allowance	"	\$
Cabinets Kitchen	Allowance includes the cost of: Installation Labor for	\$
Counter Tops	Cabinets + Counter Tops, Cabinet Hardware, Pkls. + Nails.	\$
Baths	"	\$
Counter Tops	"	\$
Baths	"	\$
Counter Tops	"	\$
Cabinet Total Allowance	"	\$
Flooring Carpet	Allowance includes the cost of materials and Labor installed.	\$
Vinyl	"	\$
Wood	"	\$
Ceramic Tile	"	\$
Flooring Total Allowance	"	\$
Hardware Door Hardware	Allowance includes the cost of material only. Costs of	\$
Bath Accessories	Installation Labor included in Contractor's Base Bid.	\$
Exterior Doors	Allowance includes the cost of material only. Costs of	\$
Interior Doors	Installation Labor included in Contractor's Base Bid.	\$
Windows	"	\$
Light Fixtures	Allowance includes the cost of material only. Costs of	\$
Finishing Fixtures	Installation Labor included in Contractor's Base Bid.	\$
Landscaping	Lump Sum Labor + Material	\$

CONSTRUCTION PRACTICES

-Green Recommendation:  
\*Investigate and document options for the project's diversion of waste, including construction waste as well as cardboard packaging and household recyclables.  
\*Document the diversion rate of the construction waste and record the waste of the land clearing separate from the new construction.  
Reduce construction waste and/or increase waste diversion to be below the industry norm: generate 25 lbs or less of net waste per square foot of conditioned floor area, increase waste diversion by diverting 25% or more of the total materials taken off the construction site from landfills and incinerators.

HOMEOWNER EDUCATION

-Green Recommendation:  
\*Provide the home occupants with proper training about the operations and maintenance of the home's "green" features and equipment. Provide a 1-hour walkthrough with homeowner and an OAH (Operations and Manual) to the homeowner including all documents and instructions related to the @Green® equipment and systems.

DIVISION 3 CONCRETE

-Green Recommendation:  
Recyclability: Concrete to have maximum recycled content allowed per structural specifications.  
Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).  
Reduce emissions: Use 30% fly ash or slag as allowed per structural specifications.

Concrete intended for structural foundations shall comply w/ Sec. R402.2 and other applicable provisions of the IRC, Codes and Standards: ACI 301 "Specifications for Structural Concrete Buildings," ACI 308, "Building Code Requirements for Reinforced Concrete." Comply with applicable provisions for highest quality except as otherwise indicated.

All load bearing footings shall be placed on level, undisturbed soil to depth shown on drawings and in no case, less than the frost depth. Prior to placing footings or slabs, the Contractor shall insure that all forms and trenches are free of debris and all embedded items are in place, securely attached. This includes the work of others. Maintain 6" minimum clearance between all wood and finish grade.

Materials:

Cement shall conform to ASTM C-150.

Ready mixed concrete shall be mixed and delivered in accordance to ASTM C-94, 3000 PSI.

Aggregates shall conform to ASTM C-33 for normal-weight concrete and ASTM C-33 for lightweight concrete.

Waterstops: Flat dumbbell or centerbulb type, size to suit joints of either rubber (CRD C-515) or PVC (CRD C 512).

Moisture Barrier: Clear 6-mils thick polyethylene or 1/8" thick asphaltic core polyethylene-coated paper membrane sheet of the largest size practical in order to minimize joints.

Membrane-forming Curing Compound: ASTM E309, Type I.

Reinforcing Bars: ASTM A 615, grade 60.

Welded Wire Fabric: comply with ASTM A 185.

Concrete Placement: Comply with ACI, placing concrete in a continuous operation within planned joints or sections. Protect concrete from physical damage or reduced strength due to weather extremes during mixing, placement and curing. In cold weather comply with ACI 306, in hot weather comply with ACI 305.

FLATNESS: Concrete floor slab flatness shall not deviate from level to 1/8" in 10 feet, maximum. Provide a smooth trowel finish for concrete floor and wall surfaces that are to be covered with a coating or covering material applied directly to concrete. Remove fins and projections, patch or remove defective areas as directed by the Owner or Architect.

Apply trowel finish to monolithic slab surfaces that are exposed to view or are to be covered with resilient flooring, paint, or other thin coating. Consolidate concrete surfaces by finish troweling, free of brovel marks, uniform in texture and appearance.

Curing: Begin initial curing as soon as free water has disappeared from exposed surface. Where possible, keep continuously moist for not less than 72 hours.

Joints: Provide construction, isolation and control joints as indicated or required to minimize differential settlement and random cracking. Saw-cut control joints as soon as concrete has hardened sufficiently to support cutting operation and no later than 8-12 hours after placement.

SECTION 05 45 00 - PRECAST CONCRETE - CAST STONE

-Green Recommendation:  
Recyclability: Concrete to have maximum recycled content allowed per structural specifications.  
Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).  
Reduce emissions: Use 30% fly ash or slag as allowed per structural specifications.

Specifications: Comply with recommended practices and procedures of Prestressed Concrete Institute (PCI) MNL - 116 and MNL - 117, and as herein specified.

Submit samples approximately 12" x 12" x 2" to illustrate quality, texture, and color of other than as-cast surface finishes.

Concrete Materials:

Portland Cement: ASTM C 150, Type as required.

Aggregates: ASTM C 33.

Air-Entraining Admixture: ASTM C 260.

Water-Reducing Admixture ASTM C 494.

Compressive strength not less than 5000 psi at 28 days. Total air content not less than 4% or more than 6%.

Fabrication: Fabricate precast concrete units complying with PCI MNL-116 for structural units and MNL-117 for architectural finished exposed units, including dimensional tolerances.

Manufacturers:

-Green Recommended Manufacturers and Products:  
Perform All, LLC, Perform Mail Panel System

DIVISION 4 MASONRY

-Green Recommendation:  
Recyclability: Use recycled bricks when possible.  
Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).

General: Assemblies of masonry units shall comply w/ the provisions provided in Chapter's 4, 6 and 10 of the IRC.

Standards: Comply with the recommendation of Brick Institutes or America (BIA) and National Concrete Masonry Association (NCMA).

Provide solid, uncured or unfrogged units with all exposed surfaces finished for sills, breads, caps, and similar applications exposing surfaces otherwise concealed from view.

Facing bricks: ASTM C 216, Grade SK, to match owner's sample.

Concrete Masonry Units (CMU): provide units of the dimensions indicated on drawings conforming to ASTM 90.

Roughen and clean concrete bearing surfaces for the placement of the first course.

Committibul Material: Premixed Type M colored mortar of formulation required to produce color indicated.

Ties and Anchoring Devices: Hot-dip galvanized steel sheet. Carbon steel hot-dip galvanized after fabrication to comply with ASTM A 153, Class B.

Joint Reinforcement: Galvanized brass type welded-wire units prefabricated with 0.1875" diameter deformed continuous side rods and plain cross rods into straight lengths not less than 10" and of widths to fit wall thickness indicated, with prefabricated corner and tee units.

Masonry Veneer Anchors: Two piece assemblies consisting of 0.1875" diameter wire tie section and 0.046" thick steel anchor section with latter incorporating strap as manufactured by Dur-O-Wall, Inc. (or equal).

Masonry Wire Ties 3/16" cold-drawn steel wire, with 15 oz. hot-dip zinc coating.

Asphalt-Coated Copper Flashing: 5 oz. sheet copper, coated with flexible fluorated asphalt.

Weepholes: Cotton sash of length required to produce 2" exposure on exterior and 18" in cavity between wythes.

Extruded Polystyrene Board Insulation: ASTM C 578, Type IV, with closed cells and integral high density skin, formed by expansion of polystyrene base resin in a extrusion process.

Workmanship: Install masonry units in the bond pattern indicated, or if none is indicated, in running bond. Avoid the use (by proper layout) of less-than-half-size units. Hold uniform joint sizes as indicated, or if not indicated, hold joint sizes to suit modular of masonry units.

C/S Joints flush and tool slightly concave, unless otherwise indicated.

Keep cavities clean of mortar droppings, and install ties spaced 16" vertically and 24" horizontally. Provide weep holes spaced 24" apart at the bottom of (and at ledges in) cavities.

Install board insulation of thickness indicated in cavity wall with boards pressed firmly and adhesively applied against inside wythes of masonry. Fit board between wall ties and with edges butted tightly.

Reinforce horizontal joints with continuous masonry joint reinforcement, spaced 16" vertically. Install reinforcement 8" immediately above and below opening for a distance of 2' beyond joints of opening. Do not bridge control and expansion joints in the wall system.

Provide control and expansion joints at locations shown or as approved by the Architect.

Protect adjacent work and keep clean of mortar, debris, and other damaging conditions. Install approved flashing under copings, sills, through wall at counter flashing locations, and above elements of structural support for masonry.

Protect newly laid masonry from exposure to precipitation, excessive drying, freezing, soiling backfill and other harmful elements.

Cleaning: Dry-brush masonry work at end of each day's work. After mortar is thoroughly set and cured, clean masonry by bucket and brush hand cleaning method described in BIA "Technical Note No. 20 Revised" using detergent cleaner.

Manufacturers:

-Green Recommended Manufacturers and Products:  
Apex Block, Apex Block  
Trenthigh Industries, Versazone Premium Recycled Grand Face CMU

SECTION 04 42 00 - EXTERIOR STONE CLADDING

-Green Recommendation:  
Recyclability: Use reclaimed stone.  
Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).

Standards: Comply with industry recommendation of stone production and fabrication standards for the type of stone selected. Provide sample panels of erected stonework, built at site, using proposed stone, anchors, and jointing, one panel for each type of stone and installation. Obtain stone from one quarry with consistent color range and texture. Stone type and color to match Owner's sample.

Mortar: Type M, ASTM C 210, Proportion Specification. For colored pointing mortar, use ground marble, granite or other sound stone to match Owner's sample.

Anchors: For anchoring into concrete, cadmium-plated or hot-dip galvanized, for anchoring into stone, Type 302/304 stainless steel.

Type, size, and load capacity as shown or required.

Asphalt-Coated Copper Flashing: 5 oz. sheet copper, coated with flexible fluorated asphalt.

Clean stone

work not less than 6 days after placement with clean water and stiff-bristle brushes.

DIVISION 5 METALS

-Green Recommendation:  
Environmentally Preferable Products:  
Use local products when possible (extracted, processed and manufactured within 500 miles of project).  
Use products with low emissions.  
Use recycled or reclaimed products.

SECTION 05 40 00

Material Standards: Provide and install structural steel in accordance w/ AISC "Code of Standard Practice for Steel Buildings and Bridges," AISC "Specifications for the Design, Fabrication, and Erections of Structural Steel for Buildings" including "Commentary," AISI "Structural Welding Code," and provisions of Chapter 3 of the IRC.

Structural steel and misc. iron shall conform to ASTM A-36.

Bolts, nuts and screws shall conform to ASTM A307 Grade A. Welding rods shall conform to AWS for intended use.

Welding or heat bending of reinf. steel shall not be allowed without written consent of Architect, conform to AWS D12-I.

Fabrication: Comply with AISC "Specifications" and with AWS Code for procedures, appearance, and quality of welds.

Steel plates shall conform to ASTM A-282 Grade A. Steel tubing shall conform to ASTM A-501.

Reinforcing steel shall conform to ASTM A-615, Grade 40 for sizes up to #3. Grade 60 for sizes #4 or larger.

Welded fabric (WVF) shall conform to ASTM A-185, latest revision. Smooth wire fabric shall conform to ASTM A-85, yield strength 60 ksi.

All bars in masonry shall be lapped with a minimum of 40 bar diameters at all splices unless noted otherwise.

All bars in concrete shall be lapped a minimum of 36 bar diameters at all splices unless noted otherwise with a larger dimension.

Splices of horizontal rebar in walls and footings shall be staggered 4'-0" unless noted otherwise.

Dowels for walls and columns shall be the same size and spacing as the wall/column reinforcing unless noted otherwise.

SECTION 05 73 00 - DECORATIVE METAL RAILINGS

General: Provide and install handrails, railings, and guards as shown on drawings and in accordance w/ Sec. R311 and Sec. R312 of the IRC.

Porches, balconies or raised floor surfaces located more than 30 inches above the floor or grade below shall have guards not less than 36 inches in height.

Handrails shall be provided on at least on side of each continuous run of treads or flight w/ four or more risers.

Structural Performance of Handrails and Railing Systems: Provide handrails and railing systems capable of withstanding a concentrated load of 200 lbs applied at any point and a uniform load of 50 lbs per lin. ft.

Infill Area of Guardrail Systems: Horizontal concentrated load of 200 lbs applied to one sq. ft. at any point in the system including panels, intermediate rails balusters, and other elements composing the Infill area.

DIVISION 6 WOOD, PLASTICS, AND COMPOSITES

-Green Recommendation:  
Material Efficient Framing:  
\*Limit the overall estimated waste factor to 10% or less. Waste factor is the percentage of framing materials ordered in excess of the estimated material needed for construction.  
Use any of the following framing measures to reduce waste: pre-cut framing packages, open-web I-joist trusses, structural insulated panels (SIP) walls, SIP roof, SIP floor, stud, joist and rafter spacing greater than 16" o.c. where possible and allowed by the IRC, size headers for actual loads, use ladder blocking or drywall clips, use 2-stud corners).  
Environmentally Preferable Products:  
\*Limit use of tropical wood but use only FSC-certified wood with proper documentation.  
Use local products when possible (extracted, processed and manufactured within 500 miles of project).  
Use products with low emissions.  
Use recycled or reclaimed products.

SECTION 06 10 00- ROUGH CARPENTRY

General: Buildings and structures constructed in flood hazard areas as established in Table R301.2.(1) shall be designed and constructed in accordance w/ the provisions contained in Sec. R323 of the IRC.

Materials: Building materials used below the design flood elevation shall comply w/ Sec. R323.11 of the IRC.

Load-bearing dimension lumber for joists, beams, studs, and girders shall be identified by a grade mark in accordance w/ Sec. R502 of the IRC.

Provide seasoned lumber with 14 percent moisture content at time of dressing and shipment for sizes 2" or less in thickness.

For exposed lumber, apply grade stamps to ends of back of each piece or omit grade stamps entirely and issue certificate of grade compliance.

Dimension lumber: Provided lumber of the following product classification in grade and species indicated:

Light-framing: (2'-4" thick, 2'-4" wide). Construction grade. Southern Pine graded under SPIB rules.

Studs (2'-4" thick, 2'-6" wide, 10' and shorter), "Stud" or No. 3 Structural Light Framing grade, any species graded under NWFA, NCLIB, SPIB or NLGA rules.

Structural Light Framing: 2'-4" thick, 2'-4" wide). No. 1 Southern Pine graded under SPIB rules.

Structural Joists and Planks (2'-4" thick, 3" and wider): Any species and grade complying with requirements for allowable unit stresses.

Fb (minimum extreme fiber stress bending): 1250 psi.

E (minimum modulus of elasticity): 1,600,000 psi.

Fv (horizontal shear): 100 psi.

Exposed Framing Lumber: Verify that material intended for use in exposed finish locations meets species and grade requirements for compliance with "Appearance" grade requirements of AISC National Grading Rule.

Posts, Beams and Timbers (3" and thicker): No. 1 grade Hem-Fir rules or No. 2 grade Southern Pine graded under SPIB rules.

Glued laminated timber (Glulam): Comply with ANSI/ATG A 190 "Structural Glued Laminated Timber"

Combination Sub Floor Underlayment: 3/4" APA RATED STURD-I-FLOOR T&G if not otherwise indicated.

Subflooring: 3/4" T&G, APA RATED SHEATHING.

Nail Sheathing: 1/2" APA RATED SHEATHING.

Roof Sheathing: 1/2" APA RATED SHEATHING.

Flywood Underlayment for Resilient tile: 5/8" APA UNDERLAYMENT EXT with fully sanded face.

Construction Panel Underlayment for Ceramic Tile: 3/4" APA RATED STURD-I-FLOOR EXP 1 for underlayment.

Fasteners and Anchors: Provide metal hangers and framing anchors of size and type recommended for intended use by manufacturer.

Hot-dip galvanized fasteners and anchors for work exposed to weather, in ground contact and high relative humidity to comply with ASTM A 153.

Building paper: 15 lb/sf asphalt saturated felt, ASTM D 226.

Sill Sealer Gasket: Glass fiber resilient insulation fabricated in strip form for use as a sill sealer, 1" nominal thickness compressible to 1/32", in rolls of 50' or 100' in length.

Preservative: pressure treat lumber and plywood with water-borne preservatives to comply with ANFA C2 and C9, respectively and with requirements indicated below:

Wood for Ground Contact Use: ANFP LP-22.

Wood for Above-Ground Use: ANFP LP-2.

Treat coats, nailers, blocking, stripping and similar items in conjunction with roofing, flashing, vapor barriers, and water proofing.

Treat sills, sleepers, blocking, hurring, stripping and similar items in direct contact with masonry or concrete.

Install rough carpentry work to comply with "Manual of House Framing" by National Forest Products Assoc. (NFPA) and with recommendations of American Plywood Association (APA), unless otherwise indicated.

For sheathing, underlayment and other products not covered in above standards, comply with recommendations of manufacturer of product involved for use intended. Set carpentry work to required levels and lines, with members plumb and true and cut to fit.

Provide wood framing members of size and spacing indicated. Do not splice structural members between supports.

Firestop concealed spaces with wood blocking not less than 2" thick (nom.), if not blocked by other framing members.

Fasten structural wood panel products as follows:

Combination Subflooring underlayment and subflooring:

Glue-nail to framing.

Sheathing: Nail to framing.

Underlayment: Glue and nail to framing.

Air Filtration Barrier: Cover wall sheathing with vapor permeable, water-resistant fabric composed of polyethylene fibers, 61 mils thick. (Tyvek or equal) in compliance with manufacturer's printed directions.

SECTION 06 11 00 - SHOP-FABRICATED STRUCTURAL WOOD

Truss design drawings: Truss design drawings, prepared in conformance w/ Sec. R802.10 of the IRC, shall be provided to the building official and approved prior to installation. Truss design drawings shall include the information specified in Sec. R802.10.I of the IRC.

Bracing: Trusses shall be braced to prevent rotation and provide lateral stability in accordance w/ the requirements specified in the truss design drawings.

Alterations to truss: Truss members shall not be cut, notched, drilled, spliced or otherwise altered in any way without the approval of a registered design professional.

Standards: Comply with NFPA National Design Specification and with TPI standards including "Quality Standard for Metal Plate Connected Wood Trusses," Commentary and Recommendations for Handling and Erecting Wood Trusses", Commentary and Recommendations for Bracing Wood Trusses" and the following:

"Design Specification for Metal Plate Connected Wood Trusses."

"Design Specification for Metal Plate Connected Parallel Chord Wood Trusses."

Provide design of total truss system by a structural engineer licensed to practice in jurisdiction where trusses will be installed.

Steel roof truss: The design, quality assurance, installation, and testing of cold-formed steel trusses shall be in accordance w/ Sec. R804 of the IRC and the AISI Standard for Cold-formed Steel Framing-Truss Design (COP5/Truss).

SECTION 06 40 00 - EXTERIOR ARCHITECTURAL WOODWORK

Quality Standards: Comply with applicable requirements of "Architectural Woodwork Quality Standards" by AWI.

Softwood Lumber: Comply with PS 20 and applicable grading rules or respective grading and inspecting agency for species and product indicated. Fabricate to sizes and patterns indicated using seasoned lumber. Use pieces made from solid lumber for transparent finished work, and glued up or solid at Contractor's option for painted work.

Exterior Standing and Running Trim: Boards and worked lumber products complying with requirements indicated below including those of grading agency listed with species.

Species: Western Red Cedar: NWFA or NCLIB.

Grade: B & Btr - 1 & 2 Clear.

Texture: Surfaced (Smooth).

Exterior Door Frames: Grade - Premium.

Siding Board Type: Lumber milled to pattern and size indicated, complying with requirements indicated below including those of grading agency used with species:

Species: Western Red Cedar: NWFA or NCLIB.

Grade: A Grade VG.

Texture: Surfaced.

Exterior Miscellaneous Ornamental Items: Grade - Premium.

Install finish carpentry work plumb, level, true and straight with no distortions, Shim as required using concealed shims.

Scribe and cut finish carpentry items to fit adjoining work. Anchor finish carpentry work securely to supports and substrates using concealed fasteners and blind nailing where possible. Use fine finish nails for exposed nailing except as indicated, countersunk and filled flush with finish surface.

Standing and Running Trim: Install with minimum number of joints possible, using full-length pieces from maximum length of lumber available. Cape at returns, miter at corners to produce tight fitting joints. Use scarf joints for end-to-end joints.

Beveled Siding: Attach to studs with non-corrosive siding nails of length to penetrate studs at minimum of 1-1/2" and to comply with siding manufacturer's recommendations.

Manufacturers:

-Green Recommended Manufacturers and Products: (per BuildingGreen.com)  
Armetor Reclaimed Lumber Co., Reclaimed-Wood Lumber and Products  
Industries Mabco, Inc., Certified FR Shingles

SECTION 06 40 23 - INTERIOR ARCHITECTURAL WOODWORK

AWI Quality Standard: Comply with applicable requirements of "Architectural Woodwork Quality Standard" by American Woodworkers Institute.

Samples: Submit finished samples of each wood species and profile indicated, for transparent finish, of each material indicated for opaque finish of each color, pattern, and type of plastic laminate and each type of cabinet hardware.

Species for Transparent Finish: Rift-sawn red oak.

Species for Opaque Finish: Any closed-grain hardwood listed in reference wood working Standard.

Hardwood Plywood: HPLMA PE.

Plastic Laminate: High-pressure decorative laminate complying with NEMA LD 3.

Interior Standing and Running Trim: Grade - Premium.

CABINETS AND COUNTER TOPS:

Allowances: See Division 1 for amount and procedures for purchase and payment (overrun or underrun). The costs of handling and installation are covered by the allowance.

Grain Matching: Run and match grain vertically for drawer fronts, doors, and fixed panels.

Comply with veneer and other matching requirements indicated for Blueprint matched paneling.

Laminate Glad Cabinets: Grade - Custom Flush overlay, High-pressure decorative laminate selected from laminate manufacturer's full range of standard colors, patterns, and finishes.

Concealed Cabinet Hardware: Provide cabinet hardware and accessory materials associated with architectural cabinets.

Comply with ANSI/BHMA A 156.9 "American National Standard for Cabinet Hardware."

Exposed Cabinet Hardware: See Section 01020 Allowances for exposed hardware.

Shop-apply prime/base coat to interior trim for opaque finish, in compliance with requirements indicated in section 09 painting. Transparent Finish for Open-Grain Woods: Provide the following shop applied finish in compliance with AWI "Architectural Woodwork Quality Standards."

Grade: Premium, AWI Finish System #3, Conversion varnish.

Staining: Match Owner's Sample

Install woodwork to comply with AWI Section 1100 for same grade specified in Part 2 of this section for type of woodwork involved.

Paneling: Anchor paneling to supporting substrate with concealed panel hanger clips. Blind nail back-up strips and similar associated trim and framing.

Manufacturers:

-Green Recommended Manufacturers: (per BuildingGreen.com)  
Hundtville Healthy Building Solutions, Wheatcore Doors and Cabinets

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DATE : 10/16/12

JOB NO. :

DRAWN BY :

DATE : 10/16/12

DATE : 10/16/12

THE PLAN HAS BEEN PREPARED TO MEET THE PROFESSIONAL STANDARDS AND PRACTICES, HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS MAY VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLAN TO PERFORM THE FOLLOWING BEFORE BEGAINING CONSTRUCTION: ALLOW THESE ARCHITECTS, INC. ASSURES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN.

-ADAPT ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION

-VERIFY ALL DIMENSIONS AND LOCATIONS ON-SITE. DIMENSIONING LEADLINES SHOULD INDICATE ACTUAL SITE CONDITIONS.

-FINAL PLUMBING LOCATIONS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL PROFESSIONAL PLUMBER.

-THIS CONTRACT IS SIGNED CORRECTLY FOR YOUR PARTICULAR REGION AND CONDITIONS.

-ADAPT ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER AND/OR ARCHITECT.

SP1











ORDINANCE NO. 2017/\_\_\_

**AN ORDINANCE TO CREATE THE KEEP BEAUFORT COUNTY BEAUTIFUL BOARD AS AN AFFILIATE OF KEEP AMERICA BEAUTIFUL AND PALMETTO PRIDE FOR THE PURPOSE OF LITTER CONTROL, BEAUTIFICATION, AND WASTE REDUCTION FOR BEAUFORT COUNTY.**

WHEREAS, Keep Beaufort County Beautiful (KBCB) has been an active organization, created as a non-profit organization under South Carolina law since 1986; and

WHEREAS, KBCB has operated with the support of County staff from the Department of Solid Waste and Recycling; and

WHEREAS, KBCB has a mission to educate and empower the Beaufort County Community (including governments, businesses, schools, and citizens) to participate directly in improving the environment through an all-out effort in beautification, litter control, and waste reduction; and

WHEREAS, KBCB has maintained its status as an affiliate of Keep America Beautiful (KAB) and Palmetto Pride by meeting the requirements of a KAB affiliate including filing the required annual reports; and

WHEREAS, KBCB has managed volunteers for the SCDOT Adopt A Highway program; and

WHEREAS, being chartered by County Council will acknowledge the success of the KBCB and solidify the organization within the County structure and provide for continued staff support for the purposes set forth below; and

WHEREAS, a county chartered organization will not have an adverse impact on the traditional funding sources from Palmetto Pride and further will have no adverse impact on affiliate status with KAB; and

WHEREAS, it is the intention of the existing Keep Beaufort County Beautiful Board of Directors to dissolve the existing non-profit and become a county chartered organization.

NOW, THEREFORE, BE IT ORDAINED, by Beaufort County Council that there is hereby created a Keep Beaufort County Beautiful Board and that such Board shall be organized and operated according to the following Charter Provisions. The Beaufort County Code of Ordinances is hereby amended by inserting the following Article VII Sections 62-58 through 62-67 into Chapter 62:

## Chapter 62- Solid Waste

### Article VII Section 62-58. – Litter Control and Beautification Board

#### Sec. 62-58. - Title.

The name of the organization shall be known as the Keep Beaufort County Beautiful Board (KBCBB).

#### Sec. 62-59. - Composition.

The board shall be comprised of the following membership:

- (a) One member from County Council District 1.
- (b) One member from County Council District 2.
- (c) One member from County Council District 3.
- (d) One member from County Council District 4.
- (e) One member from County Council District 5.
- (f) One member from County Council District 6.
- (g) One member from County Council District 7.
- (h) One member from County Council District 8.
- (i) One member from County Council District 9.
- (j) One member from County Council District 10.
- (l) One member from County Council District 11.

#### Sec. 62-60. - Filling of vacancies; removal of board members; terms.

- (1) A vacancy on the board is filled in the same manner as provided for under sections 2-191 through 2-198 of the Beaufort County Code of Ordinances, upon nomination of the respective member of County Council.
- (2) Board members are subject to removal procedures provided in Sec. 2-193 of the Beaufort County Code of Ordinances.
- (3) Board members shall serve at the pleasure of county council. Board members shall be appointed to one (1) term. A term of appointment shall be for four (4) years. No board member shall serve for more than four (4) consecutive terms except that county council may approve a fifth term by unanimous vote.

- a. Upon passage of this Charter, all eleven (11) board members shall be appointed by county council.
- b. For Districts one, two, three, four, five, and six the board members shall be re-appointed after the initial two (2) years for a full four (4) year term, thereby staggering appointments of board members. The initial two (2) year term shall not count toward the four (4) term limit.
- c. For Districts, seven, eight, nine, ten, and eleven, the board members' term shall expire after the full four (4) year term and vacancies be filled by re-appointment, or filled by new appointment.

Sec. 62-61. – Officers, officers' duties, and elections of officers.

The members shall elect three (3) officers from its membership, a chairperson, a co-chairperson and a secretary. A majority of board members present and voting, when a quorum is established, shall elect the officers.

- (1) Chairperson- The chairperson shall be responsible for leading the Board in program development and policy consistent with the Keep American Beautiful objectives. The chairperson shall be spokesperson for the Board at functions, prepare and work with the county staff in preparation of reports including but not limited to the annual Keep America Beautiful report and perform such other duties as the Board shall elect.
- (2) Co-Chairperson- The co-chairperson shall serve as the Chairperson in his or her absence, and shall discharge such other duties as the Board shall direct.
- (3) Secretary- The secretary shall keep minutes of all Board meetings and shall forward the approved minutes to the appropriate County staff person for record keeping and storage. The secretary shall also perform such other duties as the Board shall direct.

Sec. 62-62. - Meetings.

The board shall meet at the call of the chairperson, at least quarterly, and shall be conducted in compliance with the South Carolina Freedom of Information Act. Minutes shall be kept of any meetings and the minutes shall be stored in the Department of Solid Waste and Recycle or the Records Management Department of the County. A majority of the number of members on the board shall constitute a quorum for transaction of business at any meeting. A majority of those present and voting shall be required to decide any issue after a quorum has been established.

Sec. 62-63. - Purpose.

The purpose of the board will be to educate and empower the Beaufort County Community (including governments, businesses, schools, and citizens) to participate directly in improving the environment through an all-out effort in beautification, litter control, and waste reduction.

Sec. 62-64. - Objectives.

The objectives of the board include but are not limited to:

- A. Conduct and promote continuing education programs; and
- B. Develop new programs which will result in the sustained reduction of litter, graffiti and increase recycling in Beaufort County; and
- C. Encourage stricter code enforcement regarding litter and dumping; and
- D. Review and recommend appropriate legislative changes regarding environmental ordinances in Beaufort County; and
- E. Encourage placing, planting and preservation of trees, flowers, shrubs and objects of ornamentation in Beaufort County; and
- F. Maintain affiliate certification with Keep America Beautiful; and
- G. File the required annual report to Keep America Beautiful; and
- H. Pursue and secure funding from available sources.

Sec. 62-64- Keep America Beautiful Affiliation

The board shall maintain the Keep America Beautiful affiliation status and utilize the KAB resources whenever possible. The board's activities are limited to the boundaries of Beaufort County but should not be construed to exclude activities within the municipal boundaries located in Beaufort County.

Sec. 62-65. - Annual budget.

The board shall submit a recommended annual budget to Beaufort County Council for review and adoption indicating all anticipated sources of revenue, all anticipated expenditures, and any remaining funds that have been carried over from previous years. Additionally, the board shall advise and make recommendations to county council on the expenditure of any and all county funds that may be appropriate to it as well as the design and implementation of any improvement projects that will occur on land owned, maintained, or subject to the control of Beaufort County Council.

Sec. 62-66. - Appointment of other committees.

The board may appoint such other standing, special, or advisory committees from time to time as it deems appropriate. Members of such committees may include board members, as well as individuals representing specialized interests in areas that would be beneficial to the board carrying out its purpose.



Sec. 62-67. - Conflict of interest.

The board shall adhere to all conflict of interest prohibitions and disclosure requirements provided in South Carolina Code of Laws § 8-13-700 et seq., as well as any applicable provisions of the Beaufort County Code of Ordinances.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_\_\_.

COUNTY COUNCIL OF BEAUFORT COUNTY

BY: \_\_\_\_\_  
D. Paul Sommerville, Chairman

APPROVED AS TO FORM:

\_\_\_\_\_  
Thomas J. Keaveny, II, Esquire  
Beaufort County Attorney

ATTEST:

\_\_\_\_\_  
Ashley M. Bennett, Clerk to Council

First Reading:

Second Reading:

Public Hearing:

Third and Final Reading:



Quoted By: Garth Magness  
Date: 11/14/2017  
Quote Expiration: 11/30/2017  
Quote Name: Beaufort County-LGD-EG-PLM  
Quote Number: 2017-28498  
Quote Description: EnerGov PLM - SaaS

### Sales Quotation For

Beaufort County  
P. O. Drawer 1228  
Beaufort, South Carolina 29901-1228  
Phone (843) 470-3677

### EnerGov SaaS - Silver

Description	Monthly Fee	Users/Units	Annual Fee
<b>Core Software:</b>			
EnerGov Licensing & Regulatory Suite (LRM)	\$169.00	10	\$20,280.00
EnerGov Permitting & Land Management Suite (PLM)	\$164.00	34	\$66,912.00
<b>Extensions:</b>			
EnerGov Citizen Self Service - Permitting & Land Mgmt (PLM)	\$1,667.00	Site License	\$20,000.00
EnerGov e-Reviews	\$2,417.00	Site License	\$29,000.00
EnerGov GIS	\$0.00	1	\$0.00
EnerGov IG Workforce Apps	\$49.00	20	\$11,760.00
EnerGov My GovPay	\$0.00	1	\$0.00
EnerGov Report Toolkit	\$0.00	1	\$0.00
EnerGov Standard Technical Support	\$0.00	1	\$0.00
EnerGov VirtualPay	\$0.00	1	\$0.00

Sub-Total: \$147,952.00

*Less Discount:* *\$22,230.00*

**EnerGov SaaS - Silver**

Description	Monthly Fee	Users/Units	Annual Fee
<b>TOTAL:</b>			<b>\$125,722.00</b>

**EnerGov Professional Services**

Description	Hours	Unit Price	Extended Price	Year One Maintenance
Data Conversion - Tyler Munis	1	\$0.00	\$0.00	\$0.00
EnerGov Configuration Services	1200	\$175.00	\$210,000.00	\$0.00
EnerGov Custom Report Development (3 pack)	5	\$9,000.00	\$45,000.00	\$0.00
EnerGov Fundamentals Training	40	\$175.00	\$7,000.00	\$0.00
EnerGov Onsite Training & Production Support Services	120	\$175.00	\$21,000.00	\$0.00
EnerGov Project Management Services	370	\$175.00	\$64,750.00	\$0.00
Integration - Tyler Content Manager	1	\$0.00	\$0.00	\$0.00
Integration - Tyler Munis GL	1	\$0.00	\$0.00	\$0.00
<b>TOTAL:</b>			<b>\$347,750.00</b>	<b>\$0.00</b>

**Summary**

	<b>One Time Fees</b>	<b>Recurring Fees</b>
Total SaaS	\$0.00	\$125,722.00
Total Tyler Software	\$0.00	\$0.00
Total Tyler Services	\$347,750.00	\$0.00
Total 3rd Party Hardware, Software and Services	\$0.00	\$0.00
<b>Summary Total</b>	<b>\$347,750.00</b>	<b>\$125,722.00</b>
<b>Year One Contract Total</b>	<b>\$473,472.00</b>	
<b>Estimated Travel Expenses</b>	<b>\$25,500.00</b>	

Optional EnerGov SaaS - Silver

Description	Monthly Fee	Users/Units	Annual Fee
<b>Extensions:</b>			
ePortal - Tyler Incident Manager and Click2Report	\$1,667.00	Site License	\$20,000.00
Sub-Total:			\$20,000.00
Less Discount:			\$2,000.00
TOTAL:			\$18,000.00

Unless otherwise indicated in the contract or Amendment thereto, pricing for optional items will be held for Six (6) months from the Quote date or the Effective Date of the Contract, whichever is later.

Customer Approval: \_\_\_\_\_ Date: \_\_\_\_\_

Print Name: \_\_\_\_\_ P.O. #: \_\_\_\_\_

All primary values quoted in US Dollars

**Comments**

e-Planning requires BlueBeam Revu or Adobe Acrobat Pro.

EnerGov monthly fees are rounded, excluding cents.

Includes up to 55 business transactions, 5 GeoRules and 10 IAA events

Also includes integration to Tyler Cashiering and Tyler Content Manager as appropriate.

# EnerGov Permitting, Land & License Management

*Tyler's Flagship Land Management Suite*



# Company Background

Market Position, Experience, Product Offering & Support



# Company Overview

- Founded in 1966
- Publicly Traded NYSE - TYL
- 900M 2017 Projected Revenues
- 4200 Employees (Public Sector)
- Over 15,000 Government Clients





# Industry Leading Experience

- 50 Years Public Sector
- Singular Focus – Public Sector
- Strong Regional Footprint
- 98% Client Retention Rate



# EnerGov is a Best in Class Solution

- Key Component of Tyler Ecosystem
- Integrates with County's Existing Munis Financial Application
- Flexible, Extensible & Sustainable



Mobile Apps



Public Access

ePortal  
oData  
Social Media  
Citizen Apps  
IVR (Telephony)

eReviews

eReviews Portal  
Workspace

## Permitting & Land Management

Permitting  
Planning  
Inspections  
Projects  
Impact Management  
Code Enforcement

## Asset Management

Assets & Equipment  
Projects  
Requests  
Work Orders

## Licensing & Regulatory

Business Licensing  
Tax Remittance  
Professional License  
Exams  
Rental Property

## Citizen Request & Response

Requests  
Inspections  
Code Enforcement

ENERGOV GIS

## Core Framework

Cashiering  
Central Contacts  
Location Manager  
Content Manager  
Workflow

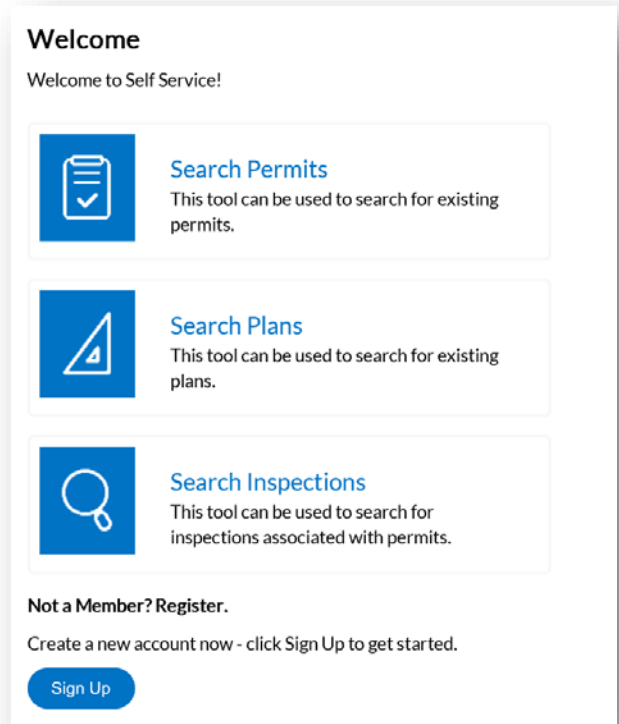
# Notable Benefits

Citizen Self-Service, Enhanced Reporting, GIS Integration,  
Enterprise Workflow, Mobility & Munis Integration



# Enhanced Citizen Self Service

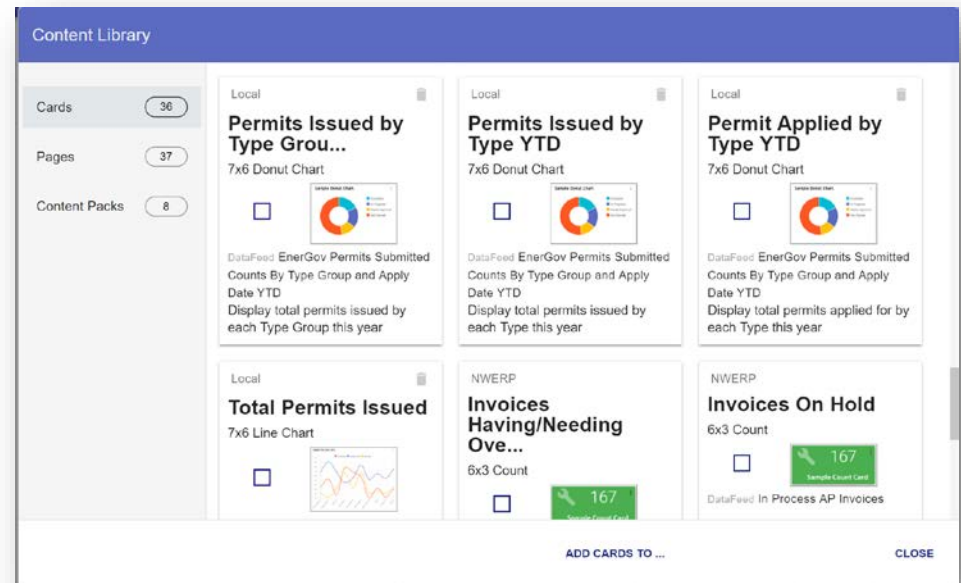
- Online Permit & License Applications & Digital Plans Submission
- Online Application Status Checks
- Online Inspection Requests
- Online Payments Processing
- Online Access to Meetings, Hearings and Approvals





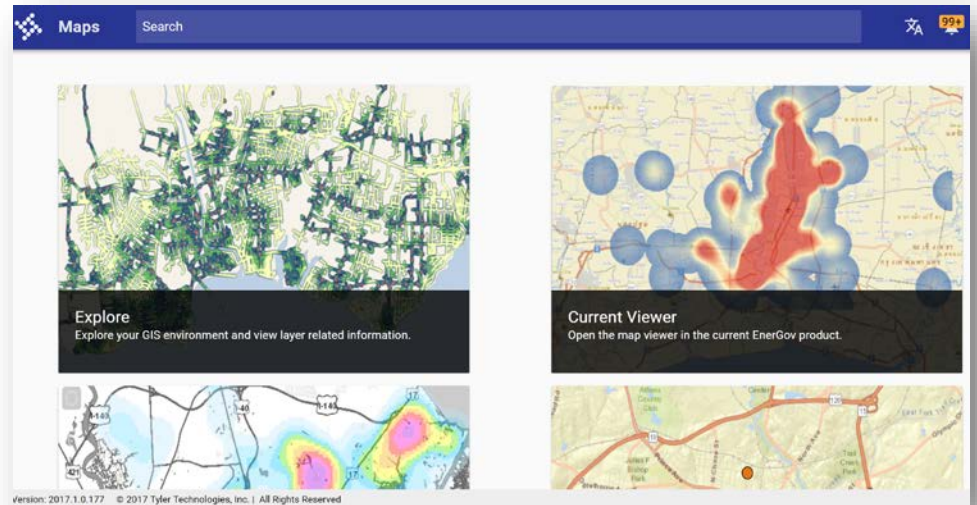
# Powerful Reporting Tools

- Customizable Key Performance Dashboards
- Extensive Reporting Library
- Report Automation
- MS Office Integration



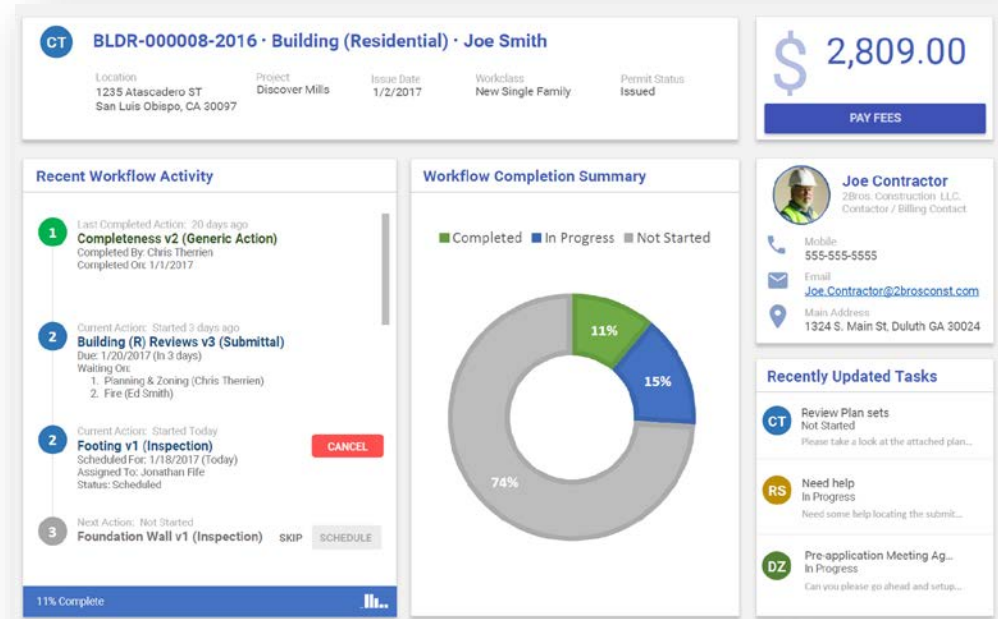
# Robust ArcGIS Integration

- ESRI-Based Mapping Technology
- GIS-based Analytics
- Spatially-enabled Workflows
- Notification Generation



# Enterprise Workflow

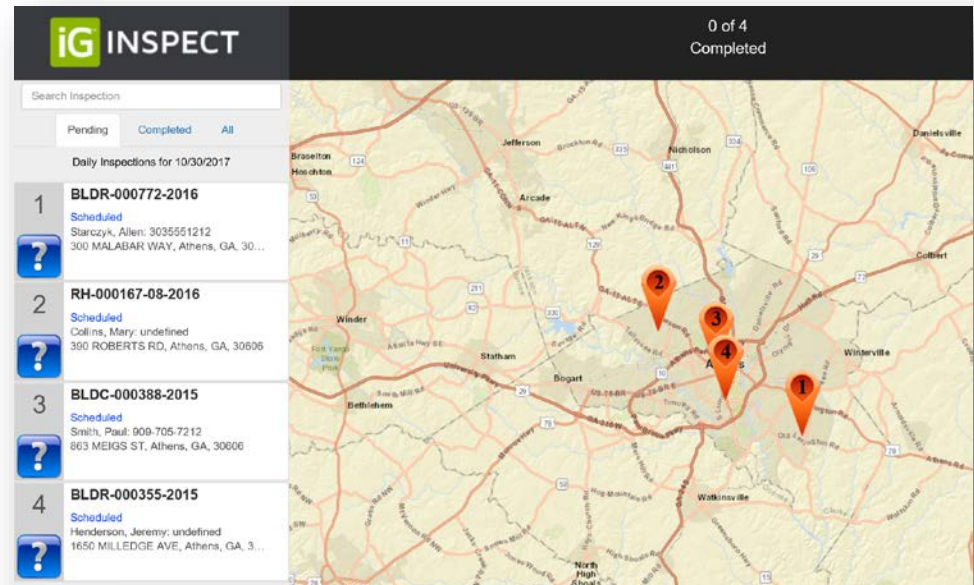
- Visual Workflow
- Connects Disparate Depts. and Activities
- Version Control
- Automation Controls





# Powerful Mobile Capabilities

- Intuitive & Robust
- Maximize Time in Field
- GIS Routing Capabilities
- Standardized Checklists
- Photo Capture
- Email & Printing Functions



# Seamless Munis Integration

- Automated Financial Integration with County's Existing Tyler Munis system
- Tyler Cashiering Integration
- Tyler Content Manager Integration
- Tyler Hub and Munis Dashboard Integration



# Implementation Overview

Staged Methodology, Business Process Assessment, Best Management Practices Recommendations



PLANNING &  
INITIATION

ASSESS &  
DEFINE

CONFIGURE &  
REVIEW

ACCEPTANCE  
TESTING

END-USER  
TRAINING

PRODUCTION &  
GO-LIVE

1

2

3

4

5

6





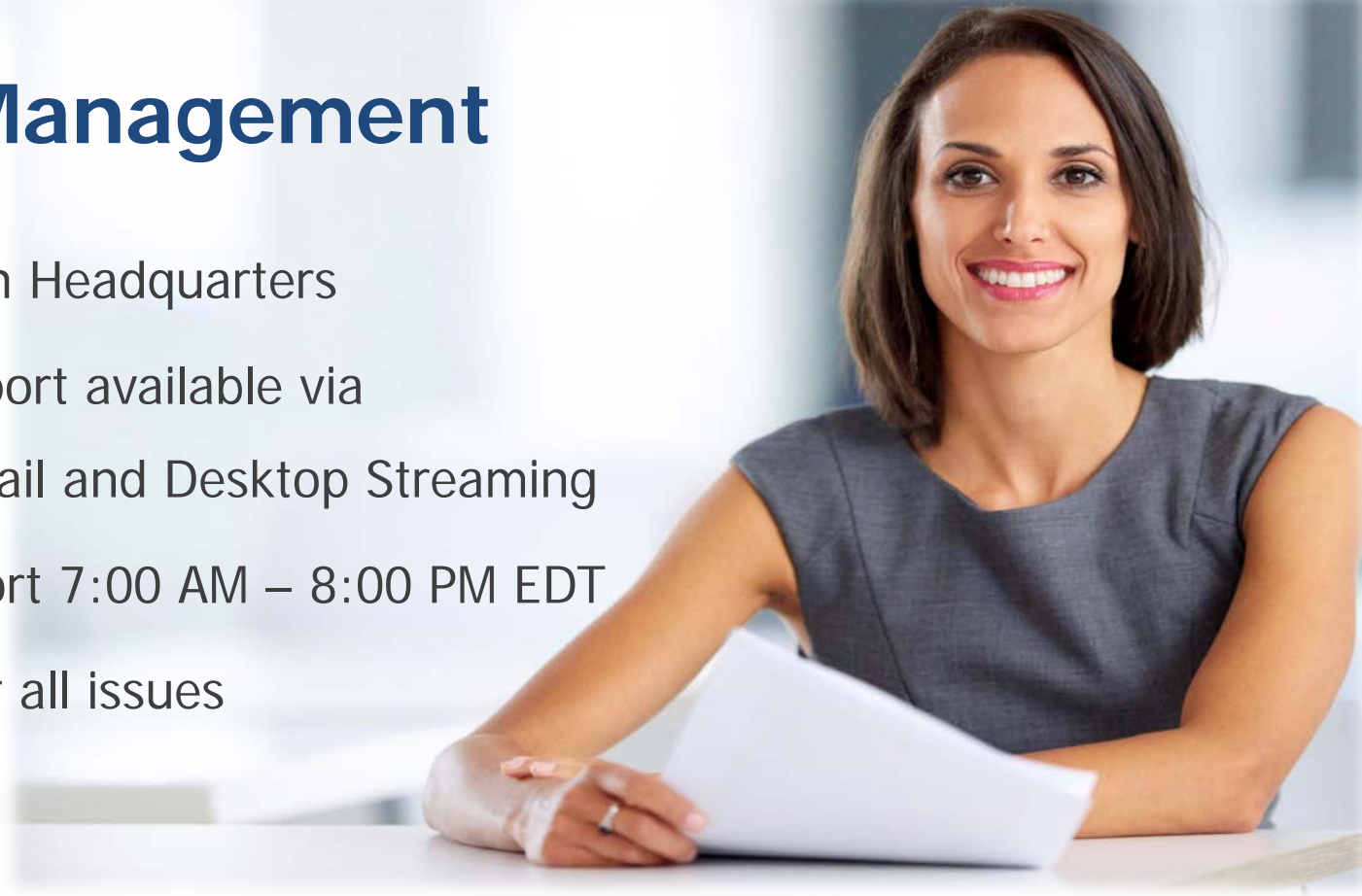
# Support Overview

Account Management, Availability, Continuing Education & Evergreen



# Account Management

- Atlanta Division Headquarters
- Unlimited Support available via Telephone, Email and Desktop Streaming
- Hours of support 7:00 AM – 8:00 PM EDT
- One vendor for all issues



# Continuing Education

- Quarterly Webinars (New Releases)
- Regional User Group Meetings
- Annual Tyler Connect Conference
- Tyler University
  - Online E-Learning
  - Certification Courses
  - Virtual Labs, Exams etc.



# Tyler Evergreen Program

- Provides Perpetual Product Updates
- Zero Re-Licensing Fees (even for platform and technology shifts)
- Continual Investment in Product Development





# Questions?



Southern Lowcountry Regional Planning Commission (SoLoCo)  
Stormwater technical subcommittee

Meetings - October 6, 2017 and October 17, 2017 - 10am - 12pm

Attendees (Oct. 6): Eric Larson (BC), Kim Jones (ToB), Neil Desai (CoB), Bill Baugher (ToB)

Attendees (Oct. 17): Eric Larson (BC), Bryan McIlwee (ToB), Jeff Buckalew (ToHHI), Jeff Netzing (ToHHI), Lisa Wagner (JC), Neil Parsons (CoH), Rhett Lott (CoH), Tony Maglione (ToPR)

1. Introductions - Eric Larson explained the purpose of the SoLoCo and the directive from the committee to compare stormwater standards to determine the "highest" regulatory standards within the region. Larson went further to suggest that the analysis should go beyond the "highest" standard, but should include a discussion of what standards SHOULD be applied if done regionally and what implementation of a regional standard via a regional regulatory authority.

2. SoLoCo directive

- a. Matrix of standards

Each jurisdiction went over their standards on the matrix and explained the intent of their standards. Redevelopment seems to be the greatest area of differences. BC requires sites to design to the natural state, not existing conditions. Bluffton looks at redevelopment to maintain runoff condition but not necessarily get back to a natural, undisturbed condition. Typically, land development codes help with reductions due to landscaping, etc. ToHHI & ToPR are similar and require post development conditions to match the existing conditions of the site prior to redevelopment. CoB, JC, and ToR have thresholds in which redevelopment can occur to lesser design standards than development.

- i. "Highest" standards

1. Peak Controls - Beaufort County and Hardeeville. 100 year, 24 hour duration is required. It is noted most communities do not regulate above the 25 year event with the 100 year storm as a check for emergency spillways on ponds and "retention" situations.
      2. Water quality controls - Beaufort County. BC requires Nitrogen, Phosphorus, and bacteria levels after construction to match pre-development (natural rates). It is noted that depending on certain development and land use cases, the natural condition has higher pollutant levels than post construction runoff. Jasper County and Ridgeland use a percent reduction of the developed runoff loading. Again, depending on the natural condition, this standard may be higher because the % reduction might be less than existing conditions.
      3. Runoff Volume controls - Beaufort County requires a 1.95" retention requirement. However, BC does not mandate that any of the volume be infiltrated. Bluffton requires a 1" infiltration of the volume increased created by development. Given that most standards have an intent to mimic natural hydrology of the site, requiring some volume to be infiltrated is deemed desirable, even if the amount is less.
      4. Area of disturbance threshold - Beaufort County, City of Beaufort, Hardeeville, and Town of Port Royal require stormwater management on

all sites. Hardeeville leaves it general, on purpose, to allow for case by case considerations. It was noted that Beaufort County requires Step 2 On-Lot volume control for SFR and therefore may be higher than the other standards. Other have exceptions to allow limited, smaller projects can occur without the need for stormwater management plans.

5. Effective Impervious cover control - Only Beaufort County has this standard. The group held some discussion on this theory. BC determined this to be an effective way to reduce volume, peak, and pollutant loading. There was general consensus that this is A way to manage runoff, but not the ONLY way.
  6. Redevelopment standards - Beaufort County code does not have a lessened standard for redevelopment, therefore hold all development to the same standard, making it the highest standard. It was noted that BC is not facing redevelopment pressures within its boundaries so having a separate standard is not an issue. However, other jurisdictions are facing these pressures. There was general consensus that some type of redevelopment standard was needed to set some limits on the "lessening" of standards in redevelopment projects.
- ii. "Best" standards - Following the "highest" discussion, the group discussed what the best standards to be adopted regionally need to be. Considerable research and discussion would be needed to establish regional standards. The points below were brainstorming ideas that would need to be considered.
1. Consider a overlay district in sensitive watersheds. Require higher standards to address impairments, pollutants, and/or flooding within a watershed or subwatershed.
  2. Watershed based planning. Similar to overlays, these could be implemented across political boundaries unlike zoning overlays (unless of course zoning became regional as well.) (Would need to decide on standard - HUC 10, HUC 12, or other). Standards could be tailored based on the impairment; inland watersheds would likely need different standards than coastal watersheds. This same idea could be used for quantity controls also; it may not be necessary to detain or retain all volumes for watersheds such as the Savannah River.
  3. Is 10% impervious control necessary? Is it meeting the intent? Is 10% enough or does it need to be higher? Is it too high? Our other standards achieve the same goals and may or may not be considered "higher" or "best" standards to be applied. Consider a range of percentages that would be considered; the Center for Watershed Protection research had recommended a range of values, not absolutes. Beaufort County's change in 2016 to require this standard IN ADDITION TO the Peak, Water Quality, and Volume Control standards may have become too restrictive. It was suggested that BC consider going back to the earlier, optional "goal" requirement.
  4. Retention standard may need infiltration to meet intent of restoring watershed to more natural state. (See discussion above)
  5. Redevelopment standards may be to differ based on problems within the watershed. (See discussion above). Beaufort County's pre-development standard of being natural, undeveloped state may be too restrictive in

areas where site constraints may make these standards not feasible. Standardizing redevelopment standards is probably the biggest way to minimize the “jurisdiction shopping” issues.

iii. "Regional" standards - See “best” standards comments.

1. Obstacles to overcome:

- a. Adopting a regional standard will likely result in Beaufort County jurisdictions needing to lower their standards, while Jasper County communities will need to raise their standards. Will BC be willing to lessen standards? There will be increased costs for development in JC.
- b. Different levels of service - Urban areas need more services than rural. Will other jurisdictions want to take on private systems like ToHHI has? Will rural areas be willing to pay for higher LOS elsewhere?
- c. Some programs are not MS4 yet and regional standards can be seen as voluntary over-regulation in those communities. There was lengthy discussion about DHEC's authority and when, not if, the MS4 designation will come to the other jurisdictions not currently permitted.

3. Regionalization

Beaufort County administration proposes that there is a better way to manage stormwater other than 8 separate stormwater departments trying to implement a regional set of stormwater. They have asked everyone to consider a formation of a regional stormwater authority, organized similar to how BJWSA was established for drinking water and sanitary sewer. To facilitate this discussion, each jurisdiction discussed their current staffing and capabilities.

a. Benchmarking existing departments (Manpower, Equipment)

- i. Beaufort County - major assets in manpower and equipment. Also large administrative staff for utility (funding) management. Full MS4 regulatory program staff.
- ii. Town of Hilton Head Island - professional staff only. No O&M - do contract services.
- iii. Town of Bluffton - Administrative and regulatory staff. Public works staff is small and does SW and roads with limited service.
- iv. City of Beaufort - Has crew and equipment for O&M and management staff for CIP. Not as large as Beaufort County
- v. Town of Port Royal - Public Works department with minimal staff and equipment and limited service. Outsourced professional services and O&M.
- vi. Jasper County - Public Works department performs O&M. Small department with multiple functions besides stormwater. Contract larger projects. Professional services are via use of consultant.
- vii. City of Hardeeville - Public Works crew small and limited services. One professional staff member. Consultant services used for plan review and as needed.
- viii. Town of Ridgeland - No Public Works department. All stormwater O&M provided by SCDOT. Professional services outsourced to consultant.

b. What does a Regional Agency look like?

- i. Perception - In Beaufort County, municipal bodies feel like there is a loss of control to the County under current relationships. SWUB, SWIC, IGA, etc. need to be redone to become regional; can't continue as-is. General consensus that a new stand-alone agency "wipes the slate clean" and gives everyone a fresh start to redefine stormwater management.
  - 1. Economic impacts - How will this benefit each community?
  - 2. Environmental benefits - How will this improve water quality and prevent flooding?
  - 3. Why? - "What's in it for me?", "I don't have a problem yet?"
  - 4. How do you convince the public on a regional concept when existing level of service is consider acceptable. There may be a concern that LOS will change for the worse.
- ii. A exploratory committee of staff is needed to research how a quasi-government agency would be structured. Outside specialists, such as consultants or managers of similar type agencies throughout the southeast, could be brought in to advise us. Items to be discussed would include:
  - 1. Funding - Utility fees may need to be different based on a level of service in different areas, such as watersheds. Collection options need to be discussed. What happens when a major event, such as a hurricane, affects rates due to damages needed to be repaired.
  - 2. Business / Administration - Transition of existing staff and resources. Appointing Board members and hiring management staff.
  - 3. Operations - Could combining efforts provide more manpower for repairs, complaint driven responses? If so, this could be a plus.
  - 4. Capital
    - a. Comment - Combining efforts will provide higher funding levels for regionally significant projects. It will allow for doing bigger projects with the larger funding source.
  - 5. Research / Monitoring - Higher potential for meaningful research when focused regionally.
  - 6. Public Engagement
    - a. Comment - Need for personal touch. Some jurisdiction(s) may be more focused on a higher level of customer service than other might feel necessary. More will likely be a desire to have a level of service that does not go down if regionalized.
    - b. Community buy-in to a regional authority will only be successful with a public education effort. We need to explain the current different levels of service within each jurisdiction and how that may change or improve under a regionally authority.
- c. Next Steps for Regionalization? - Get administration and elected leadership to support this concept and allow staff to form an exploratory committee.

Comparison of Stornwater Management Design Standards in Beaufort and Jasper Counties

11/1/16, amended 4/27/17,  
10/5/17, & 10/17/17

Note: Determination of "highest standard" found in Bold Outlined Boxes. Qualifying comments made in committee meeting minutes.

	Peak Control	Water Quality Control	Runoff Volume Control	Area of Disturbance Threshold	Impervious Cover Control	Redevelopment
Beaufort County	2,10, 25, 50 &100 yr Storm pre=post	Nit., Phos., Bacteria (Pre-development loading)	1.95" retention	All projects, regardless of size (inclduing single-family)  "All proposed development and redevelopment shall comply with stormwater volume and pollution control requirements"	10% effective area	Redevelopment treated the same as new development. Redeveloped sites that do not have existing detention/retention facilities or volume control must retrofit entire site to meet current performance standards.
ToHHI	25 yr Storm	No std. <sup>1</sup>	1" retention <sup>2</sup>	0.5 acres	No Std.* (Planning/Zoning regulations limit max impervious surface)	Redevelopment treated the same as new development. Pre-development = existing conditions for redevelopment.
ToB <sup>8</sup>	2, 10, 25 yr Storm	Phos. Only (under 20 acres) <sup>10</sup> . Sites over 20 acres must model pre and post development & identify pollutants of concern based on land use. (POC is subjective based on land use)	1" infiltration <sup>3</sup> ; pre-development volume = post development volume for 95th percentile storm (1.95" 24 hr. storm) and DHEC Standard	All projects (excluding individual single-family lots <sup>13</sup> and individual commercial lots <sup>14</sup> ), regardless of size. and DHEC Threshold	No Std., (Disconnect impervious to max extent practicable)	Redevelopment treated the same as new development. Pre-development = existing conditions for redevelopment.
CoB	25 yr Storm (staff checks for DHEC standards if DHEC submittal required)	Nit., Phos., Bacteria <sup>4</sup>	1.95" retention <sup>5</sup>	All projects, regardless of size (inclduing single-family <sup>15</sup> ) "All proposed development and redevelopment shall comply with stormwater volume and pollution control requirements"	No Std.	Lesser standards if less than a 20% increase in impervious cover. (Staff encourage water quality to the MEP. POC and MEP criteria is subjective based on site conditions and land use.)
Jasper	2, 10, 25 yr Storm 100year accommodated with no harm	80% TSS, 30% TN, 60%Bacteria load reduction	85th percentile event	Same as DHEC. Residential is exempt unless part of a major subdivision.	No Std.	Redevelopment greater than 5,000 sq. ft. is considered Development and the entire site must be updated.
Hardeeville <sup>11</sup>	2,25,50 &100 yr Storm pre=post	detention over 72 hours. Can be waived under certain conditions. Allows City to implement higher standards if certain things require it.	No Std.	All Projects.  "...any construction or development affecting the quantity and/or quality of stormwater runoff shall be in acordnace with a Stormwater Management Plan approved by the city"	No Std.	No specific rules
Ridgeland <sup>12</sup>	2, 10, 25 yr Storm 100year accommodated with no harm	80% TSS, 30% TN, 60%Bacteria load reduction	85th percentile event	Same as DHEC. Residential is exempt unless part of a major subdivision.	No Std.	Redevelopment greater than 5,000 sq. ft. is considered Development and the entire site must be updated.
ToPR <sup>17</sup>	25 yr Storm	Nit., Phos., Bacteria	1.95" retention <sup>9</sup>	All projects, regardless of size (inclduing single-family <sup>15, 16</sup> ) "All proposed development and redevelopment shall comply with stormwater volume and pollution control requirements"	No Std.	Redevelopment must address runoff volume increases to match pre-development volumes only. The Town developed a map identifying sites that will be considered redevelopment.
DHEC <sup>6,7</sup>	2- and 10-year, 24-hour storm	No std.	½ inch of runoff from the entire site.  First ½" from the entire site or the first 1" from the built upon area, whichever is greater. Projects within 1000' of shellfish beds retain the first 1.5"	1 acre, if not within 1/2 mile of coastal water body  All projects, regardless of size, within ¼ mile of a receiving water body in the coastal zone	No Std.	No specific rules on redevelopment. In general considers "pre-development" to mean pre-1992 (when state regs were adopted)
Suggested "best" standards (Should use watershed based decisions to define specifics) (Fee in-lieu of program could allow meeting standards with a regional project if site constraints prevent meeting standards on-site.)	25 year storm is sufficient. State standards may be higher so wouldn't be needed to be required locally. Design should check the 100 yr. storm to prevent BMP damage or downstream impacts	Nit., Phos., Bacteria, freshwater. Make criteria watershed based.	Infiltration should be a componet when suitable soils are present. Percentile storm event to be determined based on watershed needs. Could have two standards for the entire site or just impervious areas.	All projects should have stormwater management with reasonable exceptions, such as: Agricultural, Silviculture, disturbances below a minimum disturbance (5,000 sq. ft.?), single family residence construction, or similar conditions to be determined after further research.	10% effective area standard could be used as an alternate approach rather than peak control, volume control, and pollutant loading calculations. Rather than having an absolute value, prehaps an acceptable range should be used (ie. 10%-20%)	Pre-development = existing conditions for redevelopment. Watershed base standards may require higher level of stormwater management

<sup>1</sup> Reference to the County's BMP manual suggests the water quality standard is the same IF a BMP is used on a project.

<sup>2</sup> Retention volume dissipated by infiltration, evaporation, or other methods. Required for impervious areas only, not entire site.

<sup>3</sup> 1" infiltration required for Class A and B soils only.

<sup>4</sup> Pollutant removal is exempt in residential zones and historic areas

<sup>5</sup> Redevelopment must address runoff volume increases from new impervious surfaces only

<sup>6</sup>For the purpose of redevelopment, DHEC has typically considered 'pre-development' to be the state of the site prior to 1992 (when state regs kicked in). DHEC requirements apply to all redevelopment where intial development occurred after 1992.

<sup>7</sup>NPDES MS4 permit imposes requirement MS4s to improve pre-development hydrology on redeveloped sites.

<sup>8</sup>Bluffton mandates all projects must have minimum of 3 BMPs: 1 wet detention, 1 vegetative, and 1 filter/infiltration

<sup>9</sup> Redevelopment must address runoff volume increases to match pre-development volumes only

<sup>10</sup> Assumes all other pollutants met with phos. Control

<sup>11</sup> All standards are written to allow for case by case considerations of which standards are applicable to the site.

<sup>12</sup> Ridgeland Adopted Jasper County Standards.

<sup>13</sup> Individual single-family lot distubing equal to or less than 0.5 acres within 1/2 mile of Coastal Receiving Waters (CRW) or disturbing less than 1 acre not within 1/2 of CRW

<sup>14</sup> ALL parking provided offsite

<sup>15</sup> Staff reviews SFR site plans for grading to assure drainage problems associated with runoff aren't created and negatively impact adjacent properties.

<sup>16</sup> Single Family Residential permits must submit pre- and post- topographic info. to review conveyance only.

<sup>17</sup> Standards based on 2006 version of the Beaufort County BMP manual, with exceptions.

## **Beaufort County Stormwater Management Utility Board (SWMU Board) Meeting Minutes**

October 18, 2017 at 2:00 p.m. in Executive Conference Room, Administration Building, Beaufort County Government Robert Smalls Complex, 100 Ribaut Road, Beaufort, South Carolina

Draft Minutes 11/03/2017

### **Board Members**

#### **Present**

Marc Feinberg  
Allyn Schneider  
Larry Meisner  
James Fargher  
Patrick Mitchell  
William Bruggeman

#### **Absent**

Don Smith

### **Ex-Officio Members**

#### **Present**

Andy Kinghorn  
Scott Liggett  
Kim Jones

#### **Absent**

Van Willis

### **Beaufort County Staff**

Eric Larson  
David Wilhelm  
Melissa Allen

### **Visitors**

Neil Desai, City of Beaufort  
Alan Warren, USCB Lab  
Steve Andrews, Andrews Engineering  
Paul Moore, Ward Edwards  
Brian McIlwee, Town of Bluffton  
York Glover, County Council

### **1. Meeting called to order**

### **2. Introductions**

### **3. Public Comment(s)**

### **4. Reports**

### **5. Unfinished Business**

#### ***A. Proposed Revision to County Code of Ordinance Chapter 99 for Transportation Exemption***

***B. Stormwater Regionalization Update*** - Mr. Larson recapped that last month as the spokesman for the County Admin he proposed to the community the idea of a regional stormwater utility, to create an authority like BJWSA. Southern Low Country (SoLoCo) Regional Planning Commission (elected officials south of the Broad and Jasper County) recently reconstituted and the topic of stormwater came up; they wanted to determine what are the highest standards in Beaufort and Jasper County are in regards to stormwater. The County chaired the committee and two meetings were held (Oct 6 and Oct 17) to fulfill SoLoCo's request. It was determined that Beaufort County's standards are highest across the board with many other jurisdictions meeting them in different areas. The committee moved from the highest standards to the suggested "best" standards if stormwater was regionalized. The general consensus was that no one was opposed to meeting again and there is potential benefit to consider regional authority.

Mr. Marc Feinberg asked if the bottom row of the chart [suggested best standards] is Best Management Practices or what makes everyone happy. Mr. Larson explained that there are a few boxes that are less than what the County has now, but some of the County's standard could be



tweaked a little bit, as they may have gone too far on a few things. The County does what is above and beyond in the region and in the nation. He explained the bottom row contains good practices; perhaps they should be called reasonable practices. There is some logic as to why the highest standards listed may not be the “best.”

In response to Mr. Feinberg’s comment about two adjacent districts with different standards sharing a watershed and stating there has to be a really good reason as to why they are different, Ms. Jones said she would say (she thinks) that’s SoLoCo’s argument for going through the exercise [to review standards]. She commented that if you look at what is the most restrictive of what is currently on the books, you can “Frankenstein” an ordinance, but if you are going through the exercise would you not want to open it up and take a look at it county-wide/regional wide and put together a “pretty monster” instead. She thinks a recommendation from the Board, at the least, is needed to have an avenue to take back to their elected officials to open the opportunity to investigate what a regional utility would look like.

Mr. Kinghorn said the reality is that it is a technical and political problem that needs to be dealt with and he would encourage proceeding with discussions.

In response to Mr. Bruggeman’s question about the ultimate objective becoming one utility, Mr. Larson clarified that SoLoCo wanted to get to a unified stormwater standard over both counties. They wanted to compare standards and it was seen, by technical staff, as an opportunity to be more proactive and give them the best standards and discuss the best way to roll out unified standards.

Mr. Bruggeman expressed concerns about the County lowering some standards (such as the 10% effective being 10-20%), as he doesn’t understand how that would benefit the County.

In response to a question from Mr. Patrick Mitchell, Mr. Larson said that the “best” standards would meet MS4 requirements as they are still better than DHEC’s standards. This is written in generalities, as this is just the beginning of the conversation. Mr. Larson appreciated Mr. Bruggeman’s concern that the County may have to go down in standards as a compromise, but said to look at communities that don’t have anything, but if applied regionally would become an additional layer of regulation.

Mr. Bruggeman mentioned he doesn’t understand how Ridgeland standards can compare to Beaufort County when Beaufort County is 50% salt water. Mr. Mitchell indicated that better standards don’t always equal better results. Mr. Larson pointed out that in the chart in the best standard suggestions it is noted that standards may need to be watershed based decisions (ie: is the watershed impaired?).

Mr. Meisner shared the idea that boundaries could be based on the different watersheds or distance to a watershed. He suggests the process should move forward and have members of development and engineering community provide input as well.

Mr. Kinghorn asked if the two meetings contained the same content. Mr. Larson said some were able to attend both meetings and the second meeting started off with minutes from the first and expanded from there.

Mr. Larson, in response to a question, explained there is a level of interest to pursue this, as there are developmental pressures that they want to get ahead of it. He mentioned there are some reservations, but everyone seemed open minded to conversation.

Mr. Larson mentioned discussion took place about implementation schedules and how fast would you try to do it realizing that there are budgets, long range plans, and existing employees; there are a lot of questions that would need to be addressed. Mr. Kinghorn suggested input from BJWSA may be helpful, as they have gone through something similar creating their utility.

Mr. Liggett suggests we need a problem statement (what are we finding a solution to?) so that the SoLoCo reps can return to their Councils to understand how this could fit into their priorities (need involvement by elected official).

A consensus (ex-officio and voting members) was taken to see if regionalization is something that should be pursued; a majority showed interest in the idea of continuing discussion.

A motion was made to recommend to the jurisdictions representatives to move forward in looking at making the stormwater standards more uniform and possibly moving into a regional stormwater utility.

Discussion - Mr. Feinberg asked how the Board can tell the jurisdictions to go back and discuss this. Mr. Larson said this is the only board countywide to meet monthly to talk about how they spend their money and run their program, and this is a utility discussion. He thinks the ex-officio members would be willing to take recommendations back to their boss, based on the result of today's meeting.

Mr. Liggett said he interpreted the [consensus] vote that the Board considers that at the municipal level stormwater should be included as part of the discussion of regionalism. Mr. Liggett said hasn't heard a problem statement. Mr. Larson indicated a problem statement is that we (potentially) have five separate MS4 permits/programs within Beaufort County, with three more in Jasper County, and we are stepping on each other's toes. One larger staff could be more efficient than eight programs running separately.

Mr. Larson explained that this Board functions "County" not countywide, it doesn't have the level of detail for the municipalities as it does from the County. He suggested a short term solution to a regional approach may be to reconstitute the board and give everyone equal voting rights. He expressed the municipalities have great working relationships, but they operate differently and have different agendas. A regional authority could take on all issues at once and address them in a systematic way and provide some consistency.

Mr. Liggett explained that the way we operate is about 20 years old and that the ex-officio members are non-voting because of the intergovernmental agreements and having the ability to vote may be too powerful. It may be time to relook at that for the future, as back then it was thought that best way to ensure some level of equity was to have ex-officio to supplement the intergovernmental agreements. There was a time in the intergovernmental agreements that the County had the burden of carrying the MS4 permits for the municipalities and now there are the individual permits.

Following discussion, the Board voted and approved (4:2) to recommend proceeding forward with the discussion of uniform stormwater standards and initiate discussions for regional stormwater authority.

[Draft minutes from the October 6<sup>th</sup> and October 17<sup>th</sup> meetings and the standards chart are attached to the minutes.](#)

### ***C. Road Paving and Stormwater***

## **6. New Business**

### ***A. 2018 SWMU Board Meeting Schedule***

## **7. Public Comment(s)**

## **8. Executive Session**

## **9. Matters Arising Out of Executive Session**

## **10. Next Meeting Agenda**

## **11. Meeting Adjourned**



**BEAUFORT COUNTY STORMWATER UTILITY**  
**120 Shanklin Road**  
**Beaufort, South Carolina 29906**  
**Voice (843) 255-2805 Facsimile (843) 255-9436**  
**wstormwater@bcgov.net**



**M E M O R A N D U M**

**TO:** Natural Resources Committee  
Stormwater Utility Board

**FROM:** Eric W. Larson, PE, AICP, CPSWQ, CFM

**DATE:** October 18, 2017

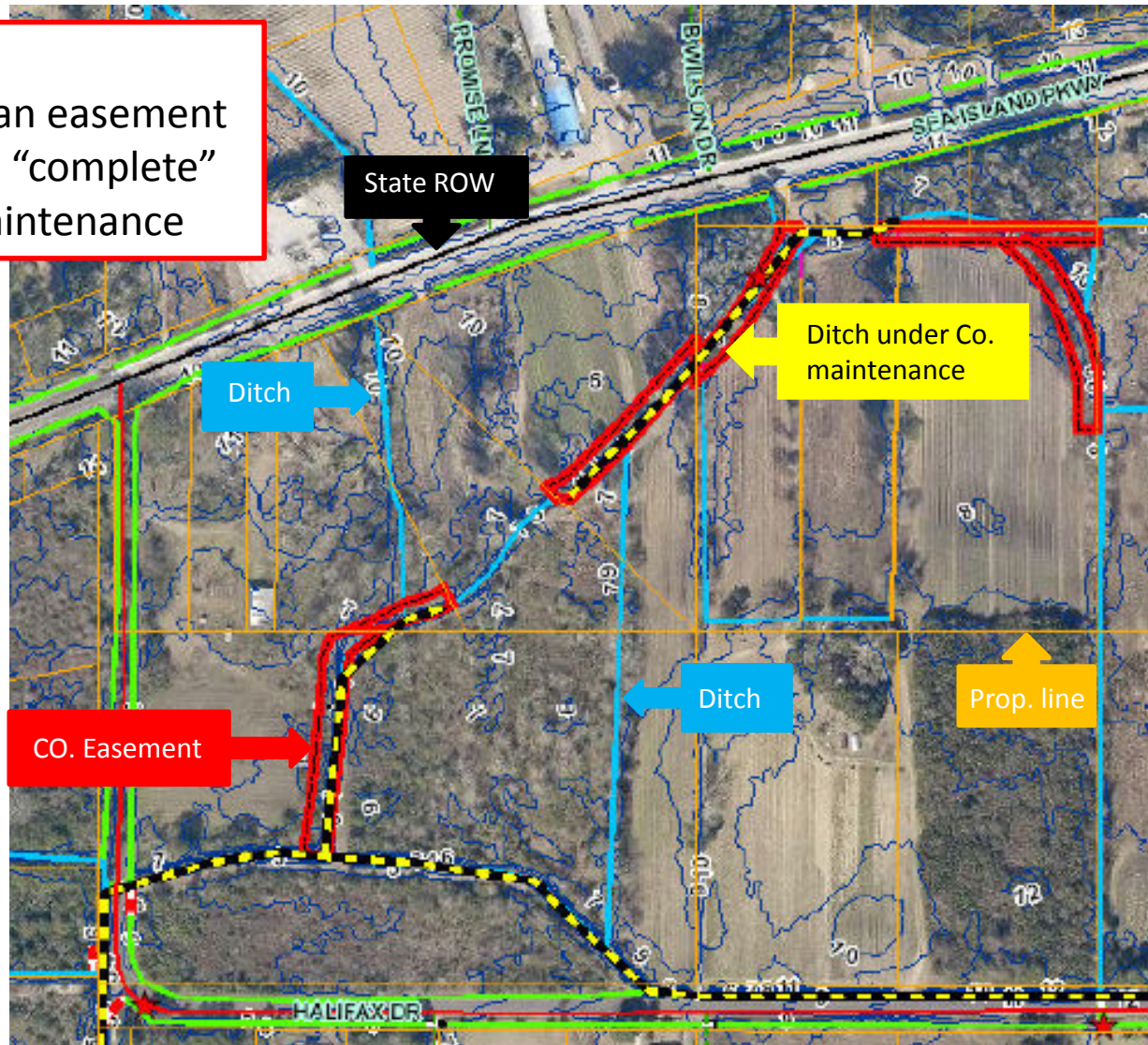
**SUBJECT:** Condemnation for Easement – Brown tract off of Halifax Road

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The attached easement agreement and exhibit has been proposed by staff, at the request of adjacent property owners and County Council member York Glover. After multiple unsuccessful attempts of communication and negotiation, it is now recommended to begin formal condemnation procedures to acquire the easement. This easement is the last piece needed to maintain a regional system.

# Barefoot Farms

At issue...  
Obtaining an easement  
to perform “complete”  
routine maintenance







**BEAUFORT COUNTY PUBLIC WORKS  
STORMWATER MANAGEMENT UTILITY**

120 Shanklin Road  
Beaufort, South Carolina 29906  
Voice (843) 255-2694 Fax (843) 255-9420



## Do Not Discard; Response Required

January 26, 2017

ALEX BROWN  
304 BIG MAMAS RD  
VARNVILLE, SC 29944

Re: Drainage Easement Request TMS # R300 016 000 178A 0000

Dear Sir/Madam:

The Public Works Stormwater Utility is currently in the process of maintaining the drainage system on and around the parcel identified as Tax Map # **R300 016 000 178A 0000**. This maintenance will benefit you and the surrounding residences. In order to maintain the drainage system, Beaufort County, by this letter, is requesting a drainage easement (see attached "Drainage Easement"). This request is displayed more specifically on "Exhibit A" and described in the document entitled "Drainage Easement." Your timely cooperation is necessary to complete this project and would be greatly appreciated.

Please carefully review the document and, if agreeable to its terms, please sign, notarize, and return in the postage-paid envelope provided as soon as possible.

If you have any questions or need the documents notarized, please contact Patty Wilson at 843-255-2694, 843-812-1144, or email [pwilson@bcgov.net](mailto:pwilson@bcgov.net). Thank you for your assistance in this matter.

Sincerely,

A handwritten signature in blue ink that reads "Patty Wilson".

Patty Wilson  
Right of Way Manager  
Engineering Department

Attachments: Drainage Easement  
Exhibit A

## EXECUTION INSTRUCTIONS

Please use the following numbers as a guide for execution. You will need both an unofficial witness and a Notary Public present at execution. These individuals may not be relatives of the person signing.

- 1) Signature of **ALEX BROWN**
- 2) Signature of 1<sup>st</sup> Witness
- 3) Signature of Notary/2<sup>nd</sup> Witness (do not affix seal on this line)
- 4) Signature of Notary (show expiration date of commission)

NOTE: When a document is signed out of the state of South Carolina, please have the Notary Public indicate the state and county in which the document is executed and witnessed along with their notary's seal and stamp where applicable.



## DRAINAGE EASEMENT

1. This easement includes the right of ingress and egress at any time over and upon the above described land, for the purpose of work of the **stormwater drainage system** as referred to above.
2. There is reserved to the Grantee, Beaufort County, the right and privilege to use the above described land of the Grantor for the purposes of the work on the stormwater drainage system.
3. The Grantee is responsible for the work of the stormwater drainage system improvements herein described.
4. Special Provisions
  - a. The Grantee shall have the right to clear and remove all brush and trees to a width necessary to perform work on the above mentioned stormwater drainage system. Provided, however, if the Grantor desires to salvage merchantable timber from the area to be cleared, he will do so prior to the time the contractor begins work. It is understood that the Grantee will advise the Grantor at least 10 days in advance of construction.
  - b. Stormwater drainage systems will follow natural draws or present drainage ways as near as practical.
  - c. If the Grantor desires to salvage levees, fences, culverts, or bridges that interfere with the work of the stormwater drainage system, he will have the opportunity to do so prior to the Grantee commencing work.

It is agreed that buildings, fences, signs or other obstructions will not be erected by Grantee, its successors, assigns, or administrators within the limits of the easement herein conveyed.

TO HAVE AND TO HOLD the aforesaid easement in, over and upon the above described land of the Grantor, with all the rights, privileges and appurtenances thereto belonging or in any wise appertaining, unto the Grantee, its successors and assigns, forever.

IN WITNESS WHEREOF, the Grantor has executed this instrument on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

**Witnesses:**

**(2)** \_\_\_\_\_  
(Witness #1)

**(1) Name:** \_\_\_\_\_

ALEX BROWN

**(1) Name:** \_\_\_\_\_

**(3)** \_\_\_\_\_  
(Witness #2) (Notary Public May Sign)

STATE OF SOUTH CAROLINA     )  
   )  
COUNTY OF BEAUFORT             )

**ACKNOWLEDGEMENT**

I, the undersigned, a Notary Public for South Carolina, do hereby certify that **ALEX BROWN** personally appeared before me this day and, in the presence of the two witnesses above named, acknowledged the due execution of the foregoing instrument.

Witness my hand and seal this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

**(4)** \_\_\_\_\_  
Notary Public for \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

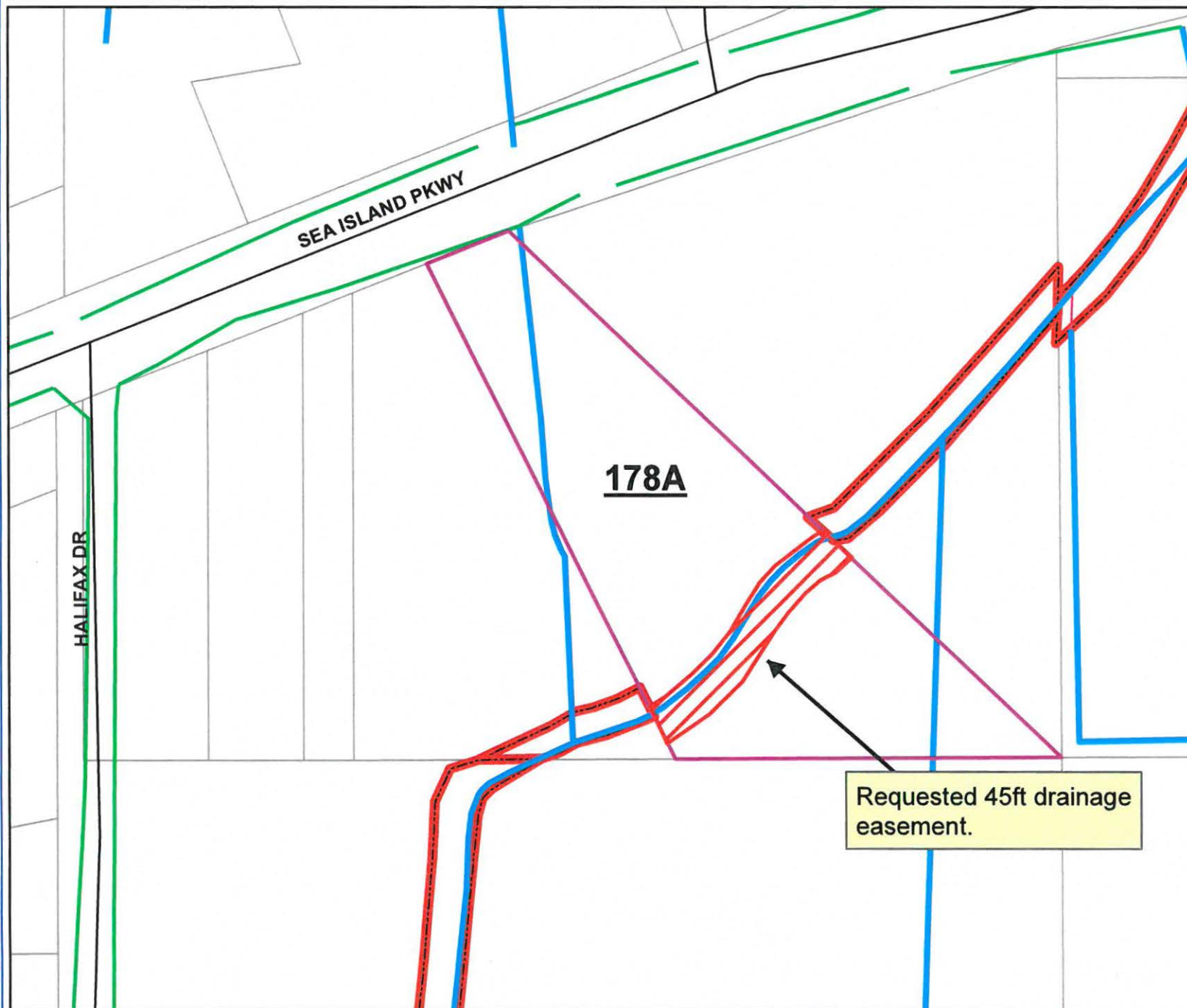
County Use Only:

Location: Beaufort County  
Township: Saint Helena Island  
Tax Map No. 16 Parcel No. 178A

(Exhibit "A")  
R300-16-178A  
Halifax Drive

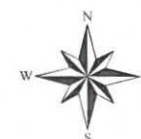
Activity: Drainage  
Easement

Township:  
St. Helena



Legend

- Requested Esmt
- Drainage**
- River
- Creek/Stream
- River/Creek/Marsh BANK
- Channel (fka Outfall)
- Channel Pipe
- Roadside
- Roadside Pipe
- Road Pipe
- Crossline Pipe
- Driveway Pipe
- Lateral
- Lateral Pipe
- Access Pipe
- Bleeder Pipe



0 37.5 75 150 225 300  
Feet

1 inch = 135 feet

Prepared By: Beaufort Co, Stormwater Management Utility  
Print Date: 1/25/2017  
File - C:\sethdata\easement requests\2017\R300-16-178A Halifax Dr