



Historic Preservation Commission

Wednesday, August 04, 2021 at 6:00 PM

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.
Council Chambers

AGENDA

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. NOTICE REGARDING PUBLIC COMMENTS*

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to Commission, Staff, or other members of the Meeting. State your name and address when speaking for the record. COMMENTS ARE LIMITED TO THREE (3) MINUTES.

V. ADOPTION OF THE AGENDA

VI. ADOPTION OF MINUTES

1. July 7, 2021

VII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

VIII. OLD BUSINESS

IX. NEW BUSINESS

1. **Certificate of Appropriateness:** A request by Rachel Ashley Beard, for approval of a Certificate of Appropriateness to allow the construction of a new 2-story single-family building of approximately 2,369 SF and a Carriage House of approximately 624 SF located at 16 Robertson Street in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-04-21-015184) (Staff- Katie Peterson)

- 2. Certificate of Appropriateness:** A request by Brighton Builders, for approval of a Certificate of Appropriateness to allow the construction of a new 1.5-story single-family building of approximately 2,196 SF and a Carriage House of approximately 1,172 SF located at 2 Tabby Shell Road, Lot 3 in the Tabby Roads Development in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-06-21-015405) (Staff- Katie Peterson)
- 3. Certificate of Appropriateness:** A request by BFL Builders, for approval of a Certificate of Appropriateness to allow the construction of a new 1.5-story single-family building of approximately 2,113 SF and a Carriage House of approximately 704 SF located at 30 Meriwether Court, identified as Lot 4 in the Landen Oaks Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-06-21-015416) (Staff- Katie Peterson)
- 4. Certificate of Appropriateness:** A request by BFL Builders, for approval of a Certificate of Appropriateness to allow the construction of a new 1.5-story single-family building of approximately 2,113 SF and a Carriage House of approximately 704 SF located at 35 Meriwether Court, identified as Lot 5 in the Landen Oaks Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-06-21-015419) (Staff- Katie Peterson)

X. DISCUSSION

XI. ADJOURNMENT

NEXT MEETING DATE: September 1, 2021

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

**Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. Public comment must not exceed three (3) minutes.*

Historic Preservation Commission

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.
Council Chambers

July 07, 2021

I. CALL TO ORDER

II. ROLL CALL

PRESENT

Chairman Bruce Trimbur
Vice Chairman Elaine Gallagher Adams
Commissioner Kerri Schmelter
Commissioner Mary Vaux Bell (4:16pm)
Commissioner Jesse Solomon
Commissioner Bruce Trimbur

ABSENT

Commissioner Michael Lovecchio

III. NOTICE REGARDING ADJOURNMENT

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There were no public comments.

V. ADOPTION OF THE AGENDA

Motion made by Commissioner Schmelter, Seconded by Commissioner Gallagher Adams.
Voting Yea: Commissioner Gallagher Adams, Commissioner Schmelter, Commissioner Solomon, Commissioner Trimbur

VI. ADOPTION OF MINUTES

1. June 2, 2021

Motion made by Commissioner Solomon, Seconded by Commissioner Schmelter.
Voting Yea: Commissioner Gallagher Adams, Commissioner Schmelter, Commissioner Solomon, Commissioner Trimbur

VII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

There were no public comments.

VIII. OLD BUSINESS

There was no old business.

IX. NEW BUSINESS

1. **Certificate of Appropriateness:** A request by Vicky Cowen, for approval of a Certificate of Appropriateness to allow the construction of a new 2.5-story single-family building of approximately 3,135 SF and a Carriage House of approximately 1,152 SF located at 56 Pritchard Street in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-07-20-01-014375) (Staff- Katie Peterson)

Katie Peterson presented the information from the staff report included in these minutes to the Commission.

Motion for approval with the following conditions made by Commissioner Solomon:

1. Per Section 5.3.3.G., an updated Landscape Plan showing the canopy coverage for the lot must be provided.
2. The Historic Preservation Commission found that due to existing utilities, per Section 5.3.3.H.5., a large canopy street tree is not required, as long as all other landscape requirements are met, including canopy coverage.
3. Per Section 5.3.7.E., a minimum of 8 feet of foundation plantings must be provided along the front elevation.
4. Per Section 5.15.6.E.5., the porch height must be increased to a minimum of 30" from grade to top of stair.
5. Per Section 5.15.6.J., the proposed roof material must be clarified.
6. Per Section 5.15.6.G., the stucco finish for the foundation wall must be provided.
7. Per Section 5.15.6.H., the premanufactured baluster and railing detail must be revised to show permitted materials and dimensions, or the detail removed.
8. Per Section 5.15.6.E.8., additional information on any roof penetrations must be provided for review or the detail removed.
9. Per Section 5.15.6.N., a revised exterior corner detail meeting the material and dimensional standards must be provided.
10. Per Article 5 multiple sections, remove or cross out all details which will not be used during construction of this structure.
11. Per Section 5.15.7.H. the driveway width must be reduced to be no wider than 10 feet in front of the principal plane of the structure.
12. Per the Applications Manual, an Encroachment Permit for the Driveway and Walkway is required.
13. Per the Applications Manual, any mitigation required as part of the Tree Removal Permit must be shown on the Landscape Plan.

Seconded by Commissioner Gallagher Adams.

Voting Yea: Commissioner Gallagher Adams, Commissioner Schmelter, Commissioner Vaux Bell, Commissioner Solomon, Commissioner Trimbur

- 2. 47 Stock Farm Road (Certificate of Appropriateness -HD):** A request by Jessie Westmark, of Webb Construction, on behalf of the owners, Gilbert and Mary Reid Carter, for approval of a Certificate of Appropriateness to allow the addition of approximately 535 heated square feet to the existing single-family residential structure located at 47 Stock Farm Road, in the Old Town Bluffton Historic District and zoned Neighborhood Conservation- HD. (COFA-04-21-015202) (Staff- Katie Peterson)

Katie Peterson presented the information to the Commission.

Motion for approval as submitted was made by Commissioner Schmelter, Seconded by Commissioner Vaux Bell.

Voting Yea: Commissioner Gallagher Adams, Commissioner Schmelter, Commissioner Vaux Bell, Commissioner Solomon, Commissioner Trimbur

X. DISCUSSION

There was no discussion.

XI. ADJOURNMENT

Motion for adjournment was made by Commissioner Gallagher Adams at 4:57pm, Seconded by Commissioner Schmelter.

Voting Yea: Commissioner Gallagher Adams, Commissioner Schmelter, Commissioner Vaux Bell, Commissioner Solomon, Commissioner Trimbur.



HISTORIC PRESERVATION COMMISSION

STAFF REPORT Department of Growth Management

MEETING DATE:	August 4, 2021
PROJECT:	16 Robertson Street – New Construction: Single-Family Residential
APPLICANT:	Ashley Rachel Beard
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Rachel Ashley Beard, requests that the Historic Preservation Commission approve the following application:

1. **COFA-04-21-015184.** A Certificate of Appropriateness to allow the construction of a new 2-story single-family building of approximately 2,369 SF and a Carriage House of approximately 624 SF located at 16 Robertson Street in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

INTRODUCTION: The Applicant is proposing the construction of a detached single-family residence located in the Old Town Bluffton Historic District. The proposed building, of approximately 2,369 SF (1,965 heated SF), has been proposed as a Sideyard House, a permitted Building Type within the Neighborhood General-HD zoning district. While it has similar attributes of the Sideyard House Building Type, it does not feature a full-length side porch, and Staff requests the HPC review the characteristics of the Sideyard House and make a determination on the building type. In addition to the primary structure, the Applicant is proposing a Carriage House structure of approximately 624 SF, which meets the design and placement standards for a Carriage House Building Type.

The two-story structure features a forward-facing gable roof with a 2-story side porch under a hipped roof. There is a chimney, small second-story bump out, and a slightly larger first floor bump out with a side door and stoop on the West Elevation. The two-story side porch extends from the front of the structure about two-thirds of the way back. The final two bays of the first-floor porch have been infilled. The proposed materials include horizontal fiber cement siding, a tabby stucco foundation, chimney, and tabby stucco stairs with brick detailing at the edges. The Carriage House features a gable roof of the same pitch as the primary structure but also features a side-facing gabled ell. It has similar materials and trim detailing as the primary structure.

This project was presented to the Historic Preservation Review Committee for conceptual review at the April 26, 2021, meeting and comments were provided to the Applicant (See attachment 6).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant proposes to construct a new single-family residence and Carriage House within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The buildings have been designed to be sympathetic to the architectural character of the neighboring historic structures, so their addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

The form-based code provides for standards which allow the form to

expand or be reduced based on the ability to fit the required elements on the site. It should be noted, that at this time, as configured, the mass of the structure does not allow for the canopy coverage, street tree, and setback requirements to be met, and therefore is too large for the site.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structure and Carriage House, once revised to meet the conditions in item 2 of this Section, will add to the district and help provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Finding.* Section 5.15.5.C. determines the Building Types permitted in the Neighborhood General-Historic District and their setbacks. Section 5.15.8.J. further defines the characteristics the Sideyard House. Sideyard Houses are defined as detached single-family residences between 1,200 SF and 2,800 SF with a maximum footprint of 1,200 SF. They are 2-2.5 stories in height, are positioned with the narrow side facing the street and have a full-length side porch. They tend to be positioned with the non-porch side close to the adjacent side property line creating a "side yard" onto which the porch faces. They are typically 24'-35' wide, including the side porch.

The propose structure meets the square footage and height requirements, is positioned with the narrow side facing a street, is positioned closer to the non-porched side property line and is 24' wide including the porch. The structure features a side porch which extends 43% of the first-floor depth and 68% of the second-floor depth. As a full-length side porch is a requirement of the building type, Staff is requesting a determination on if the structure meets the intent of the Sideyard House Building Type.

If it is found that the proposed building meets the characteristic requirements of a Sideyard House, the setbacks have been met, apart from the stairs (more in Section b). If it is found the structure does not meet the characteristics of the Sideyard House, the structure must be reviewed as an Additional Building type and would need to increase the side setback to no less than 10' per Section 5.15.5.C.

- b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
 - 1) Section 5.3.7.A. Street Trees. All roadways on which development is proposed shall include large canopy street trees that are planted no greater than 50 feet apart. The Landscape Plan proposes a Live Oak planted along the west property line;

however, it is in the area shown on the survey and site plan as a 10-foot shared access. As this area is identified as access, a tree in this location cannot count towards the Street Tree requirement as it would need to be removed if site is used as access in the future. If the proposed tree is shifted out of the shared access, the tree would meet the Street Tree requirement.

- 2) Section 5.7.3.D.1. Lot Landscaping. All lots, except active recreation areas requiring open area that are part of a school or public park, shall contain sufficient landscaping, either existing or planted, to have a minimum of 75 percent lot coverage with tree canopy measured as the mature canopy, not including building rooftops. The Landscape Plan includes the installation of four trees to create the canopy cover; however, the canopy spread for the sable palm at the front is shown as just over 30' diameter spread (typical size is 15-25'), the Little Gem Magnolia is shown as 30' in diameter (typical size is 10') and the Shadows Female Yaupon Holly is shown with a 40' diameter spread (typically less than 20'). Additionally, the Magnolia, Yaupon and Live Oak are all located in the 10' shared access, which would require their removal for use. Revise the Landscape Plan to show updated canopy calculations and placement where use of the shared access would not impact the site's canopy cover. Additionally, as the number of trees required may be challenging with the canopy sizes of the trees proposed, consideration should be given to the species of trees used to meet this requirement.
- 3) Section 5.15.5.C. and 5.15.8.J. Sideyard House Building Type. A Sideyard House is defined as a detached single-family residence between 1,200 SF and 2,800 SF of 2-2.5 stories positioned with the narrow side facing the street and a full-length side porch. The structure proposes a side porch of 43% of the first-floor depth and 68% of the second-floor depth. A determination must be made on if the proposed structure meets the intent and characteristics of the Sideyard Building Type.
- 4) Section 5.15.5.C. Neighborhood General Historic District (NG-HD). Sideyard House Building Types within the NG-HD zoning district are required a Front Build-to zone of 10'-15', a Rear Setback of 30' and Side Setbacks of 5'. As specified in Section 9.3 of the UDO, "building appurtenances (steps, porches/stoops, eaves, bays) attached and projecting from the foundation or building are not restricted by the setback requirement, except in no case will these appurtenances extend within 3 feet of adjacent properties, or into easements or rights-of-way unless specifically provided in [the UDO]." As proposed, the front stairs extend 4' 7" beyond the property line, into the right-of-way. The side stairs end 1' 4" from the side property line. The location of the stairs must be revised to be no closer than 3 feet from the side and front property lines. Should the stairs be revised to be within the

property line, but a walkway proposed beyond, an Encroachment Permit from the Town of Bluffton, must be submitted for review and approval.

Additionally, a landing in the direction of travel 36" in depth will be required at all exterior doors per R311.3 of the 2018 International Residential Code (IRC). The doors on the North and West elevations do not meet this requirement. Additional stairs meeting the dimensional requirements (not more than 7 $\frac{3}{4}$ " rise, no less than 10" run) will also be required as the current configuration shown does not meet these requirements. The addition of additional stairs may impact setbacks and/or driveway configuration.

- 5) Section 5.15.5.F.1.c. General Standards. Residential structures shall have a first finished floor height raised a minimum of three (3) feet above average adjacent sidewalk grade. The elevations propose the finished floor height at two and a half feet (2'6") above grade. The finished floor height must be raised to no less than 3 feet above average adjacent sidewalk grade.
- 6) Section 5.15.6.F.2. Architectural Elements- General Requirements. Window and wall air conditioners, electrical utility meters, air conditioning compressors, irrigation pumps, waste receptacles, systems equipment, roof and wall penetrations shall be located in rear yards or side yards not facing side streets, with approved screening. No service yard location has been provided for the primary structure. The location and configuration of the service yard must be provided for review.
- 7) Section 5.15.6.E.5. Porches. Porches must be 30 inches minimum from grade to top of stairs. The proposed porch is approximately 24 inches from grade. Porch height must be increased to meet the minimum height requirement.
- 8) Section 5.15.6.E.5. Porches. Porches may be screened; however, if screened, all architectural expression (railings, pickets, etc.) must occur on the outside of the screen. While the columns are shown on the exterior of the screen, the railings are not shown. Revise screen detail to show railings. Further, during the HPRC review, Richard Spruce, Chief Building Official, noted a handrail is required on at least one side of the front entry steps per 2018 IRC Section 311.7.8. No handrail has been provided.
- 9) Section 5.15.6.J. Roofs and Gutters. Gutters are to be copper, galvanized steel, or 14-18-gauge aluminum. They are permitted to be rectangular, square, or half-round in profile. The application notes gutters are "TBD"; however, no profile or placement information was provided should they opt to include them during construction. A gutter detail and placement

information must be provided, or the application revised, to ensure compliance with this section.

- 10) Section 5.15.6.G. Building Walls. Exposed foundation walls (below the first-floor elevation) shall be brick done in bond patterns, tabby stucco (mixed shell size only), sand-finished or steel trowel finished stucco over block or concrete. The elevations show the foundation as tabby stucco with crushed shell aggregate, but do not specify it to be mixed shell size. Additional information must be provided to ensure it is mixed shell tabby, sand or steel trowel finished.
- 11) Section 5.15.6.M. Shutters. Shutters shall be constructed of a durable wood. Except in the case of a Contributing Structure, the UDO Administrator may approve of the use of Wood Composite material for shutters provided the UDO Administrator determines that the shutters will be consistent with the character of the Historic District and the materials used are of equal or better quality than traditional building materials. Further, Traditional Construction Patterns, referenced in UDO Section 5.15.6.A. as an additional reference for architectural standards, encourages the use of the 'Arm's Length Rule,' which states that substitute materials must be indistinguishable from the original at arm's length or less, and their performance must exceed that of the original if they are to be used below the second floor. The Applicant proposes the use of composite shutters. The shutters must be revised to be a durable wood material, or a determination made by the HPC that the composite material proposed is of equal or better quality than traditional building materials.
- 12) Section 5.15.6.M. Shutters. Shutter dogs may be "S" hook, rat-tail hooks, generally less decorative iron butterfly, or other style shutter dog typical of the Old Town Bluffton Historic District's period of significance. A shutter dog profile must be provided for review as one was not included in the application.
- 13) Section 5.15.6.H.2.a. Columns, Arches, Piers, Railings, Balustrades. Columns shall be Wood (termite resistant), painted or natural, Cast Iron, Concrete with smooth finish, Brick, Stone, Steel or Tabby. While the elevations show the use of a wood structural column, the application calls for the columns to be composite. The application must be revised to match the elevations as composite columns are not a permitted configuration.
- 14) Section 5.15.6.H.2. Columns, Arches, Piers, Railings, Balustrades. Railings and balusters shall be wood (termite resistant), painted or natural wrought or cast iron. Top Rail: 2-3/4". Minimum diameter; Balusters: 4" o.c. spacing minimum, 5" o.c. spacing

maximum. There will be railings at minimum along the balcony, and likely they will be required along the porch and stairs at all exits. A railing detail must be provided, and railings shown on the elevations where required, as not enough information was provided for review.

- 15) Section 5.15.6.I. Windows and Doors. The primary entrance to all buildings shall be located on the exterior wall facing the frontage street. The primary entrance to the structure is proposed on the side of the building facing the driveway. The primary entrance location must be relocated to the wall facing the street.
 - 16) Section 5.15.6.I. Windows and Doors. Snap in muntins or mullions, and muntins between the glass are not recommended. Windows with true divided lite or simulated divided lite are encouraged. Muntins are shown in the windows, but not enough information was provided for review. Provide a typical window detail.
 - 17) Section 5.15.6.J. Roofs and Gutters. Metal roofs may be Standing Seam or 5-V Crimp with 24" maximum spacing, panel ends exposed at the overhang. The elevations show the roof material as Standing Seam, but the Wall Sections show the roof as 5-V metal. Clarify which roof material will be used.
 - 18) Section 5.15.6.N.1-6. Corners and Water Tables. Corners and water tables should follow precedent found in the local vernacular. Corner boards shall project beyond siding material, be mitered, rabbeted, or butt jointed (butt face to be on side of wall) be beaded or have 1/4 round inset trim mold. They may have pilasters with an appropriate cap detail and may have 5/4" back-banding. Quoins of any type, aluminum or vinyl corners or skirting and corner trim that is out of proportion to the vertical height of the wall are not permitted. Not enough information was provided to complete the review. Provide a corner detail.
 - 19) Section 5.15.6.N. Corners and Water Tables. Drip boards shall be a minimum 5/4 stock with a bevel (any exposed flashing must be copper or match color of water table). Skirt boards shall be a minimum 5/4 stock and furred out to sit just beyond the face of the foundation wall (after finish foundation material is applied, i.e. brick, stucco). The dimension of the drip board has not been provided and the skirt board is identified as a 1x10 material. The water table must be revised to be no less than a 5/4 stock material.
3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. Town Staff finds the nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. While the architectural detailing is sensitive to the neighboring properties, the mass does not allow for all required elements to fit the site (street trees, canopy coverage, stairs to access the structure, etc.) and should be reconsidered.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of new structures in the Old Town Bluffton Historic District. If the conditions of this report are met, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, with the revisions noted, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff has found that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance could be met. Town Staff requests the HPC consider the following items, along with Section 3.13.3 of the Unified Development Ordinance as they act on the application.

Staff recommends the application be tabled and brought back to the HPC once the items below have been addressed, as several items may substantially alter the design of the primary structure.

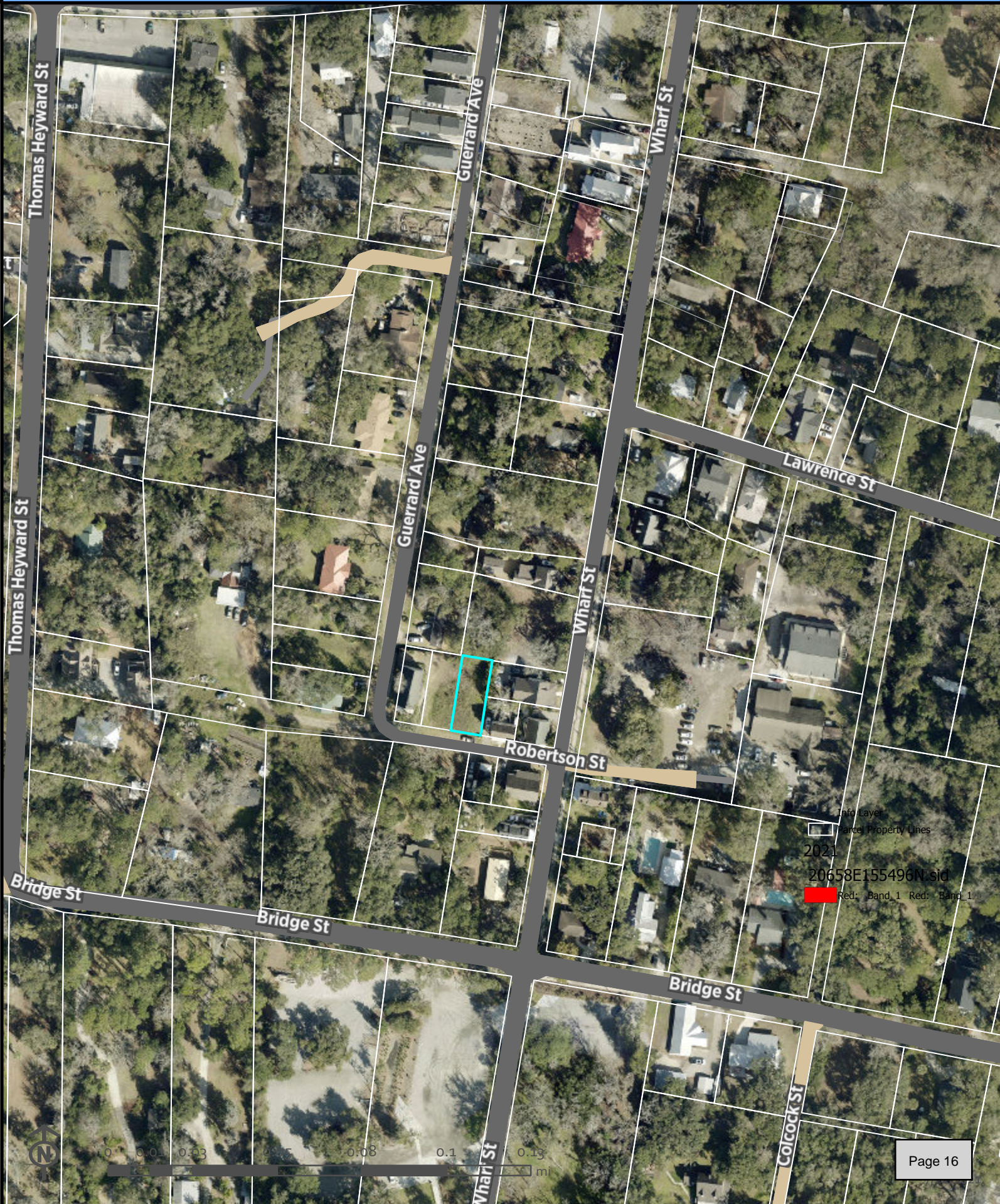
1. Per Section 3.18.3.B., 3.14.4.D. and the Old Town Master Plan, the mass of the structure, as currently configured, does not allow for the other site requirements to be met. The mass of the structure must be reduced, or the site reconfigured, to allow for the site elements required beyond the structure itself to fit on the site.
2. Per Section 5.3.7.A., a large canopy street tree must be planted on the site where it will be retained should the 10' shared access be utilized in the future.
3. Per Section 5.7.3.D.1., revise the Landscape Plan to show updated canopy calculations and placement where use of the 10' shared access would not impact the site's canopy cover.
4. Per Section 5.15.5.C. and 5.15.8.J. a determination the building type must be made.

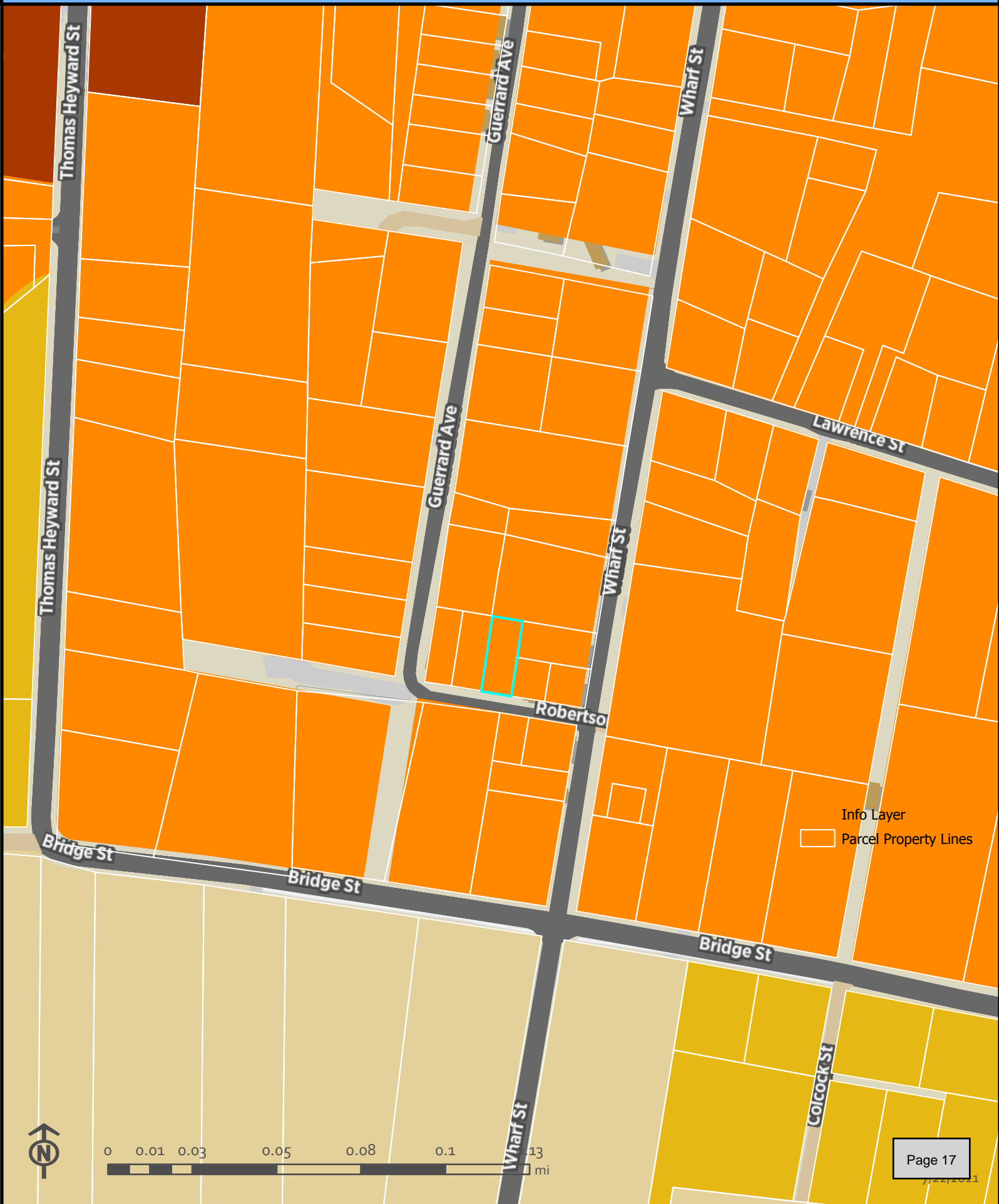
5. If the HPC determines the building does not meet the characteristics of the Sideyard House Building Type, the side setback must be increased to be no less than 10'.
6. Per Section 5.15.5.C. and 9.3, the side stairs must be revised to be no closer than 3 feet from the property line, and 5 feet from the property line to be outside the 10' shared access.
7. Per 2018 IRC Section 311.3, the exterior doors must have landings in the direction of travel and the stair configuration must be revised to meet the dimensional requirements for access.
8. Per the Applications Manual, a Town of Bluffton Encroachment Permit must be obtained for work beyond the front property line, specifically the sidewalk.
9. Per Section 5.15.6.E.5., the porch height must be raised to no less than 30 inches from adjacent grade.
10. Per Section 5.15.6.E.5., the screen porch detail must be revised to show the architectural detailing (railings and pickets etc.) on the outside of the screen.
11. Per Section 5.15.6.E.5., as a handrail is required per Section 311.7.8. of the 2018 IRC, a railing detail must be provided.
12. Per Section 5.15.5.F.1.c., the finished floor height must be raised to no lower than 3 feet above average adjacent sidewalk grade.
13. Section 5.15.6.F.2., the service yard location and configuration must be provided for review.
14. Per Section 5.15.6.G., provide stucco finish for the foundation wall.
15. Per Section 5.15.6.H.2.a., the column material listed on the application must be updated as composite columns are not permitted.
16. Section 5.15.6.H.2., a railing detail must be provided for review and railings shown on the elevations were required.
17. Per Section 5.15.6.I., the primary entrance location must be relocated to the wall facing the street.
18. Per Section 5.15.6.I., a typical window detail showing the muntin configuration must be provided for review.
19. Per Section 5.15.6.J., a gutter profile must be provided to ensure they will be rectangle, square or half round in profile.
20. Section 5.15.6.J., the roof material on the elevations or wall sections must be updated to be consistent.
21. Per Section 5.15.6.N.1-6., a corner detail must be provided for review.
22. Per Section 5.15.6.N.7., the water table must be revised to be a minimum of 5/4 stock for the drip board and the skirt board.
23. Per Sections 5.15.6.A., 5.15.6.M., and Traditional Construction Patterns the shutters must be revised to be a durable wood material or additional information on the composite proposed to ensure the shutters will be consistent with the character of the Historic District and the materials used are of equal or better quality than traditional building materials.
24. Per Section 5.15.6.M., a shutter dog profile must be provided for review.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Application

4. Site Plan & Elevations
5. Landscape Plan
6. HPRC Report





Info Layer
Parcel Property Lines

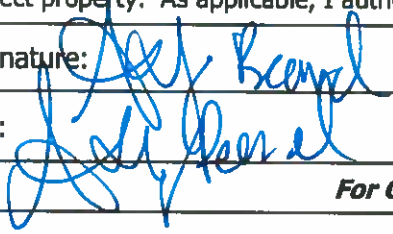
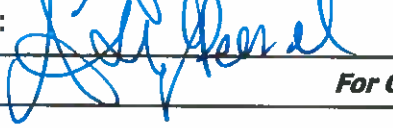


TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION

ATTACHMENT 2

Section IX. Item #1.

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4522
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Ashley Rachel Beard		Name: Ashley Rachel Beard	
Phone: (717) 808-4710		Phone: (717) 808-4710	
Mailing Address: 70 Foreman Hill Road, Bluffton, SC 29910		Mailing Address: 70 Foreman Hill Road, Bluffton, SC 29910	
E-mail: ashley.wissmiller@gmail.com		E-mail: ashley.wissmiller@gmail.com	
Town Business License # (if applicable):			
Project Information (tax map info available at http://www.townofbluffton.us/gis/)			
Project Name: Wissmiller Roberston Build		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Location: 16 Roberston Street, Bluffton, SC 29910		Amendment: <input type="checkbox"/>	
Zoning District: Neighborhood General - Hd		Application for:	
Acreage: 0.092		<input checked="" type="checkbox"/> New Construction	
Tax Map Number(s): R610-039-00A-0186-0000		<input type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation or Demolition	
Project Description: Building a 2,259 square foot side porch residential home with two floors, three bedrooms, three bathrooms and freestanding garage/carriage house on this plot of land.			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Full sized copies and digital files of the Site Plan(s). One (1) set for Conceptual, two (2) sets for Final			
<input checked="" type="checkbox"/> 2. Full sized copies and digital files of the Architectural Plan(s). One (1) set for Conceptual, two (2) sets for Final			
<input checked="" type="checkbox"/> 3. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: 		Date: 7/9/2021	
Applicant Signature: 		Date: 7/9/2021	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS-
OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION
PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness-HD Application, the Applicant is required to consult with the UDO Administrator at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness Application with the required submittal materials during an Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
Step 3. Review by UDO Administrator and HPC	Staff
If the UDO Administrator determines that the Concept Review Submission of the Certificate of Appropriateness-HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review the Review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness-HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness-HD Application, the UDO Administrator shall issue the Certificate of Appropriateness-HD.	



TOWN OF BLUFFTON **CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT** **PROJECT ANALYSIS**

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW	<input type="checkbox"/>	FINAL REVIEW	<input checked="" type="checkbox"/>
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5): Side Porch House					
Building Setbacks	Front: 10 ft	Rear: 5 ft	Rt. Side: 5 ft	Lt. Side: 5 ft	
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage	Proposed Square Footage		
Main Structure	Main House	N/A	1,965 square ft		
Ancillary	Garage/Carriage House	N/A	624 square ft		
Ancillary					
4. SITE COVERAGE					
Impervious Coverage		Coverage (SF)			
Building Footprint(s)		1533 S.F.			
Impervious Drive, Walks & Paths		102 S.F.			
Open/Covered Patios		N/A			
A.TOTAL IMPERVIOUS COVERAGE		1635			
B.TOTAL SF OF LOT		4,000			
% COVERAGE OF LOT (A/B= %)		41%			
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation		
Foundation	Tabby Stucco	Columns	Composite		
Walls	Fiber Cement (Hardie - 6" Ex	Windows	Clad/Wood (Double Hung +		
Roof	Standing Seam Metal Roof	Doors	Clad/Wood		
Chimney	Tabby Stucco	Shutters	Composite		
Trim	Composite (Hardie or equal)	Skirting/Underpinning	n/a		
Water table	Composite (Hardie or equal)	Cornice, Soffit, Frieze	Composite (Hardie or equal		
Corner board	Composite (Hardie or equal)	Gutters	TBD		
Railings	KDAT Wood	Garage Doors	Composite		
Balusters	KDAT Wood	Green/Recycled Materials	n/a		
Handrails	KDAT Wood				



TOWN OF BLUFFTON **CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT** **APPLICATION CHECKLIST**

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS-HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



**TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT
APPLICATION CHECKLIST**

<input type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	PRELIMINARY DEVELOPMENT PLAN APPLICATION: Submit a Preliminary Development Plan Application along with all required submittal items as depicted on the application checklist.

**SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL
ALL SUBMITTALS MUST BE COLLATED AND FOLDED TO 8-1/2" X 11"**

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Ashley Saurd
Signature of Property Owner or Authorized Agent

7/9/2021
Date

Ashley Saurd
Printed Name

I:\Arch\Home Documents\documents\202043 - Wissmiller\202043 - Wissmiller.rvt

WISSMILLER RESIDENCE
at
16 Robertson Street
Bluffton, SC

PLAN REVIEW DATA

1. GENERAL	
A. PROPERTY ADDRESS	16 Robertson Street, Bluffton SC 29910
B. A.P.N. (ASSESSOR'S PARCEL #)	R610-039-00A-0186-000
D. ASSOCIATED LOT INFORMATION	EXISTING GRADE ELEV. = PER LANDSCAPE FINISHED GRADE ELEV. = PER LANDSCAPE PORCH F.F. ELEVATION = PER LANDSCAPE FIRST F.F. ELEVATION = PER LANDSCAPE
E. LOT COVERAGE	
F. BUILDING HEIGHT PROVIDED:	MAX. LOT COVERAGE = X% LOT COVERAGE PROVIDED = 50 % +/- 31'-2" MAX HEIGHT ABOVE GRADE
2. CODE REQUIREMENTS	
A. APPLICABLE CODES	2018 RESIDENTIAL CODE 2018 INTERNATIONAL BUILDING CODE
B. OCCUPANCY	R3
C. CONSTRUCTION TYPE	VB

AREA INFORMATION

PROJECT SQUARE FOOTAGE	
FIRST FLOOR:	1062 S.F.
SECOND FLOOR:	903 S.F.
SECOND FLOOR CARRIAGE HOUSE:	312 S.F.
TOTAL HEATED:	2277 S.F.
PORCH:	159 S.F.
UPPER SCREEN PORCH:	245 S.F.
TOTAL PORCH AREA:	404 S.F.
GARAGE:	312 S.F.
SERVICE YARD:	18 S.F.
GROSS HEATED AREA:	2277 S.F.
GROSS UNDER ROOF:	2993 S.F.



INDEX OF DRAWINGS

- SHEET ISSUED
- SHEET REVISED
- X SHEET REMOVED
- SHEET PROVIDED OTHER

SHEET NO.	SHEET NAME	7/7/2021	FINAL REVIEW			
T1.1	COVER PAGE		•			
1-LANDSCAPE						
CS	LANDSCAPE COVER		■			
L1	LANDSCAPE PLAN		■			
L2	PLANT DETAILS		■			
L3	PAVING DETAIL		■			
2-STRUCTURAL						
S1.1	STRUCTURAL NOTES					
3-ARCHITECTURAL						
A0.3	ARCHITECTURAL SITE PLAN & SURVEY		•			
A1.1	FLOOR PLANS		•			
A1.2	FLOOR PLANS		•			
A1.3	CARRIAGE HOUSE PLANS		•			
A3.2	ELEVATIONS - MAIN HOUSE		•			
A3.3	ELEVATIONS - CARRIAGE HOUSE		•			
A4.1	BUILDING SECTION		•			
A5.1	WALL SECTIONS		•			
A5.2	WALL SECTIONS		•			
A8.0	PERSPECTIVES		•			

VICINITY MAP

PROJECT CONTACTS

ARCHITECT	LANDSCAPE	STRUCTURAL	CONTRACTOR	INTERIOR DESIGN
HANSEN ARCHITECTS, P.C. 24 DRAYTON ST., 9TH FLOOR SAVANNAH, GA 31401 PH: 912.234.8056 FX: 912.234.0353 CONTACT: ZACH D. BROWN, Assoc. AIA E-MAIL: zbrown@hansensavannah.com	WITMER JONES KEEFER, LTD. 23 PROMENADE ST SUITE 201 BLUFFTON, SC 29910 PH: 843.757.7411 CONTACT: DAN KEEFER E-MAIL: dan@wjktld.com	CONTACT: E-MAIL:	CONTACT: E-MAIL:	

BUSINESS LOGO	
SHEET NO.	T1.1
PROJECT NUMBER:	202043
DATE:	7/7/2021
DRAWER:	WISSMILLER RESIDENCE

16 Robertson Street
Old Town
Bluffton, SC

REVISIONS

SHEET TITLE

ARCHITECTURAL
SITE PLAN & SURVEY

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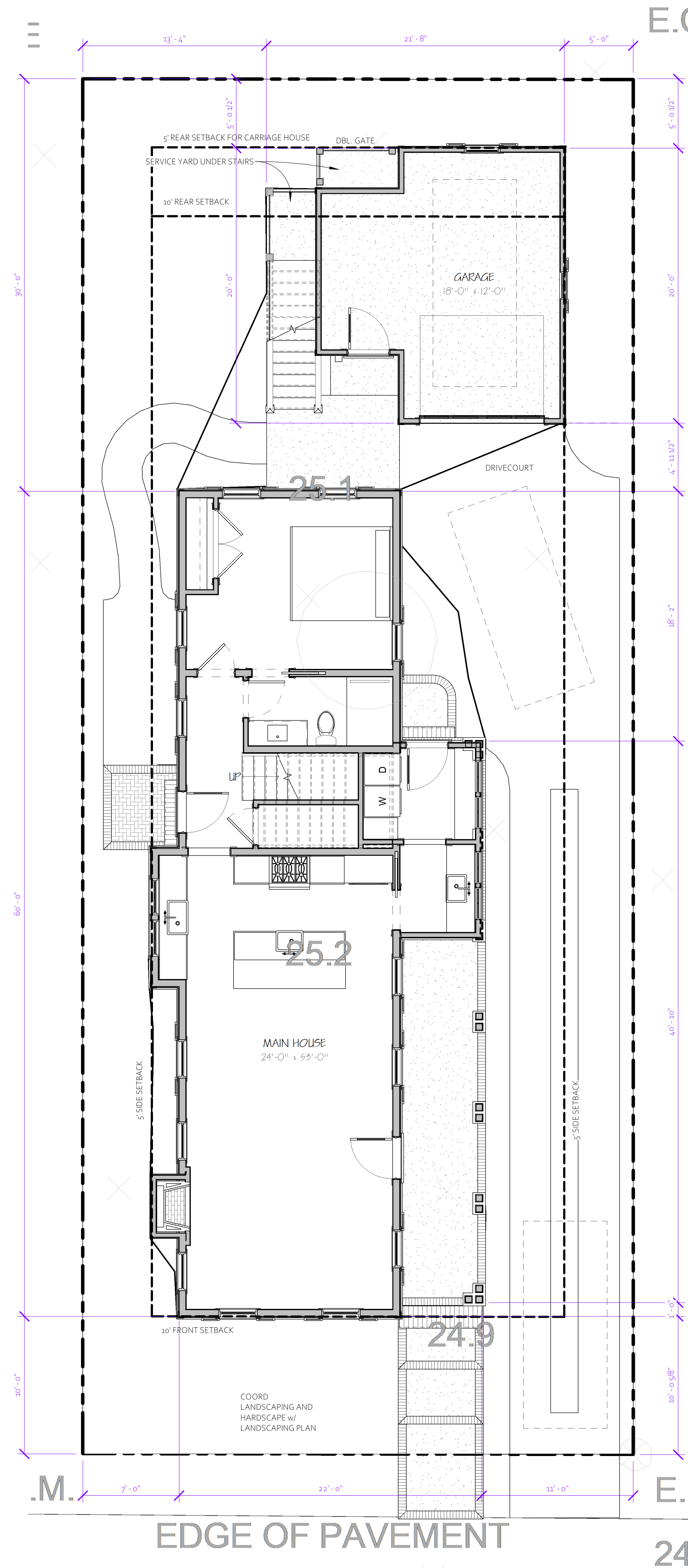
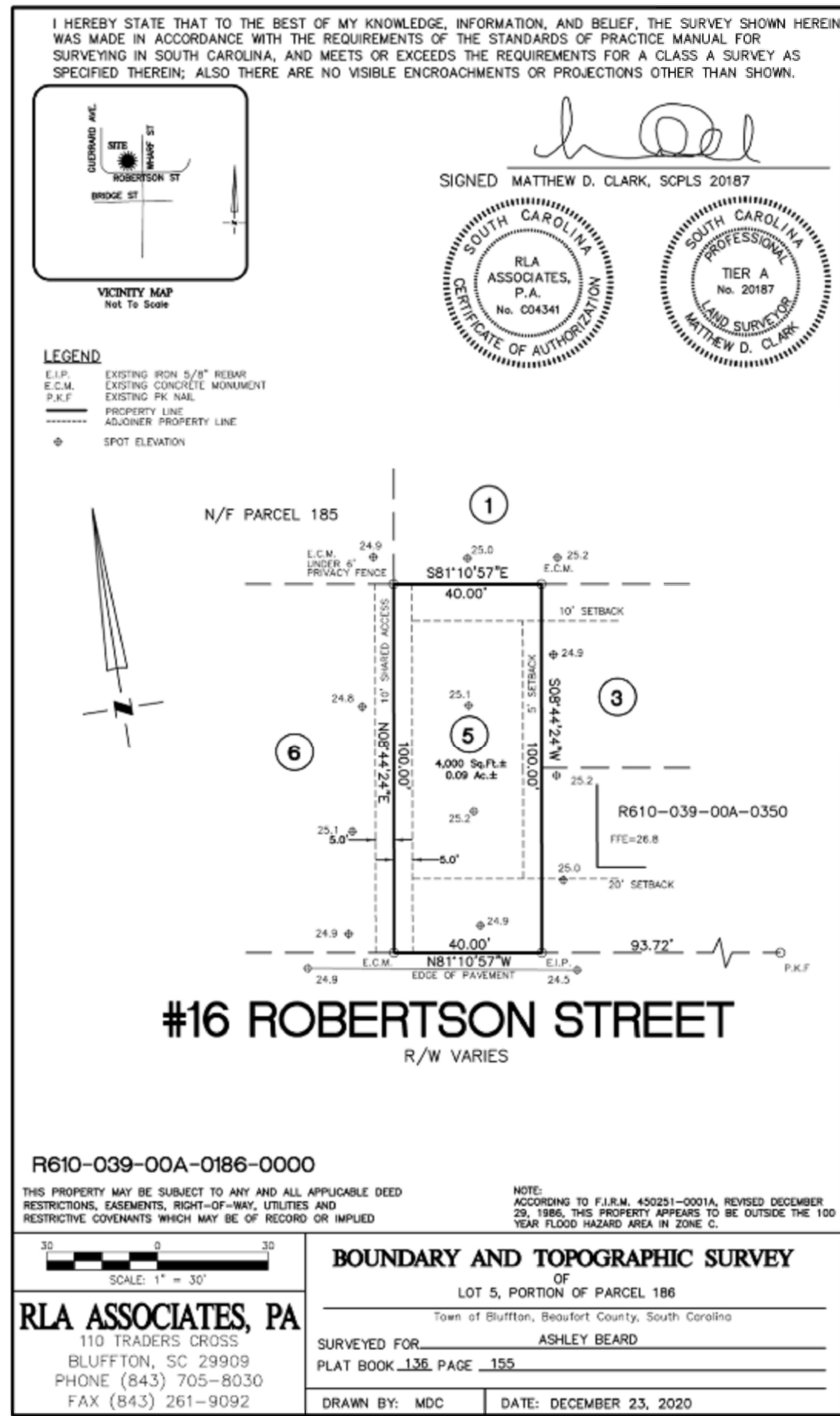
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PROJECT NUMBER: **202043** SHEET NO. **A**
DATE: **7-7-2021**
DRAWN BY: **ZDB**
CHECKED BY: **ZDB**
SCALE: **3/16" = 1'-0"**
DRAWER: **WISSMILLER RESIDENCE**

Ao.3

NOT FOR CONSTRUCTION - FINAL



1	SITE PLAN - ARCHITECTURAL
A0.3	3/16" = 1'-0"

WISSMILLER
RESIDENCE

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Old Town
Bluffton, SC

REVISIONS

SHEET TITLE

FLOOR PLANS

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DATE: 7.7.2021
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CHECKED BY: ZDB
SCALE: 1/4" = 1'-0"
DRAWER: WISSMILLER RESIDENCE

A1.1

NOT FOR CONSTRUCTION - FINAL

PROJECT SQUARE FOOTAGE

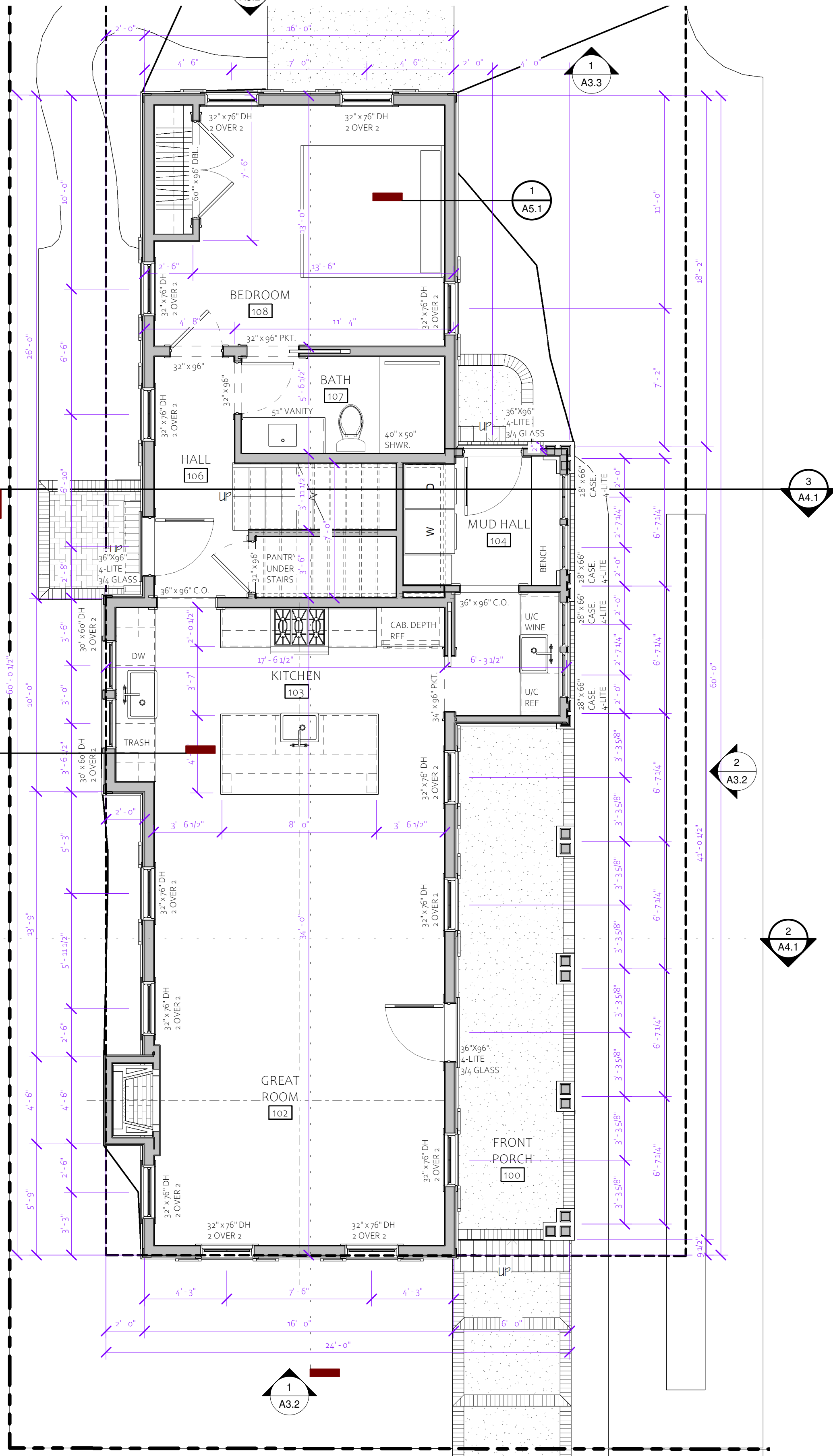
FIRST FLOOR: 1062 S.F.
SECOND FLOOR: 903 S.F.
SECOND FLOOR CARRIAGE HOUSE: 312 S.F.
TOTAL HEATED: 2277 S.F.

PORCH: 159 S.F.
UPPER SCREEN PORCH: 245 S.F.
TOTAL PORCH AREA: 404 S.F.

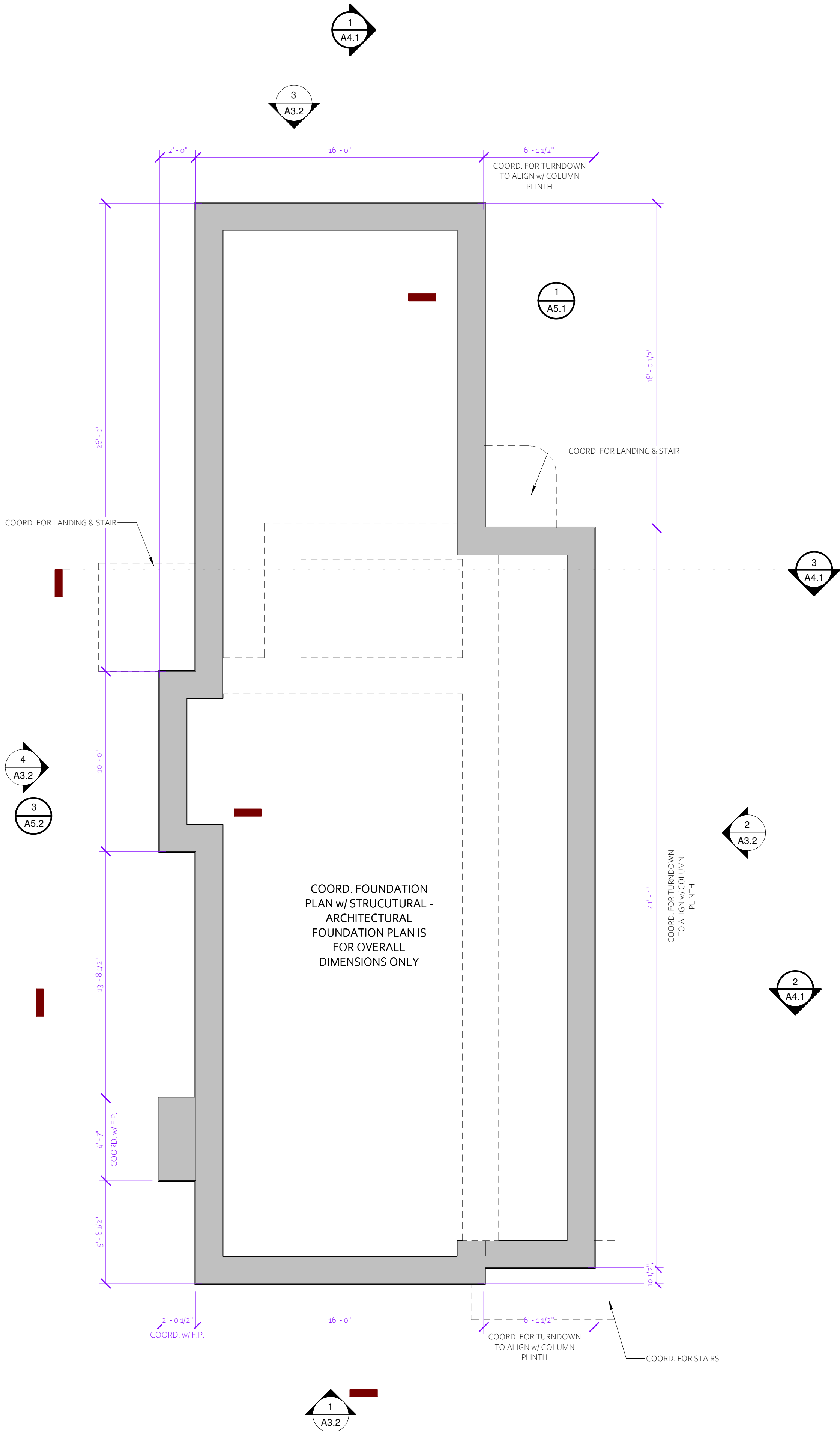
GARAGE: 312 S.F.

SERVICE YARD: 18 S.F.

GROSS HEATED AREA: 2277 S.F.
GROSS UNDER ROOF: 2993 S.F.



1 FIRST FLOOR PLAN
1/4" = 1'-0"



2 FOUNDATION PLAN
1/4" = 1'-0"

WISSMILLER
RESIDENCE

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Old Town
Bluffton, SC

REVISIONS

SHEET TITLE

FLOOR PLANS

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DATE: 7.7.2021

DRAWN BY: ZDB

CHECKED BY: ZDB

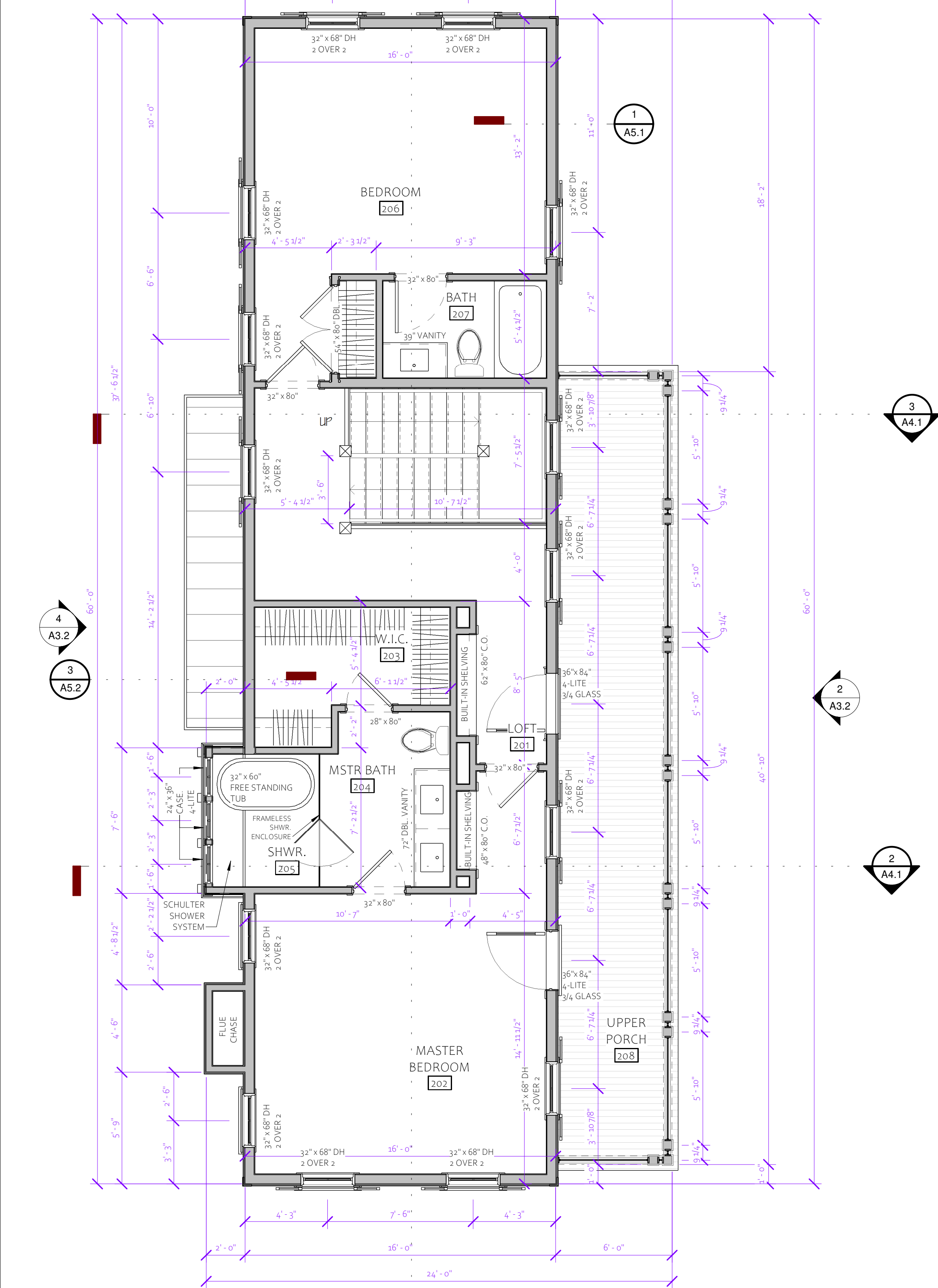
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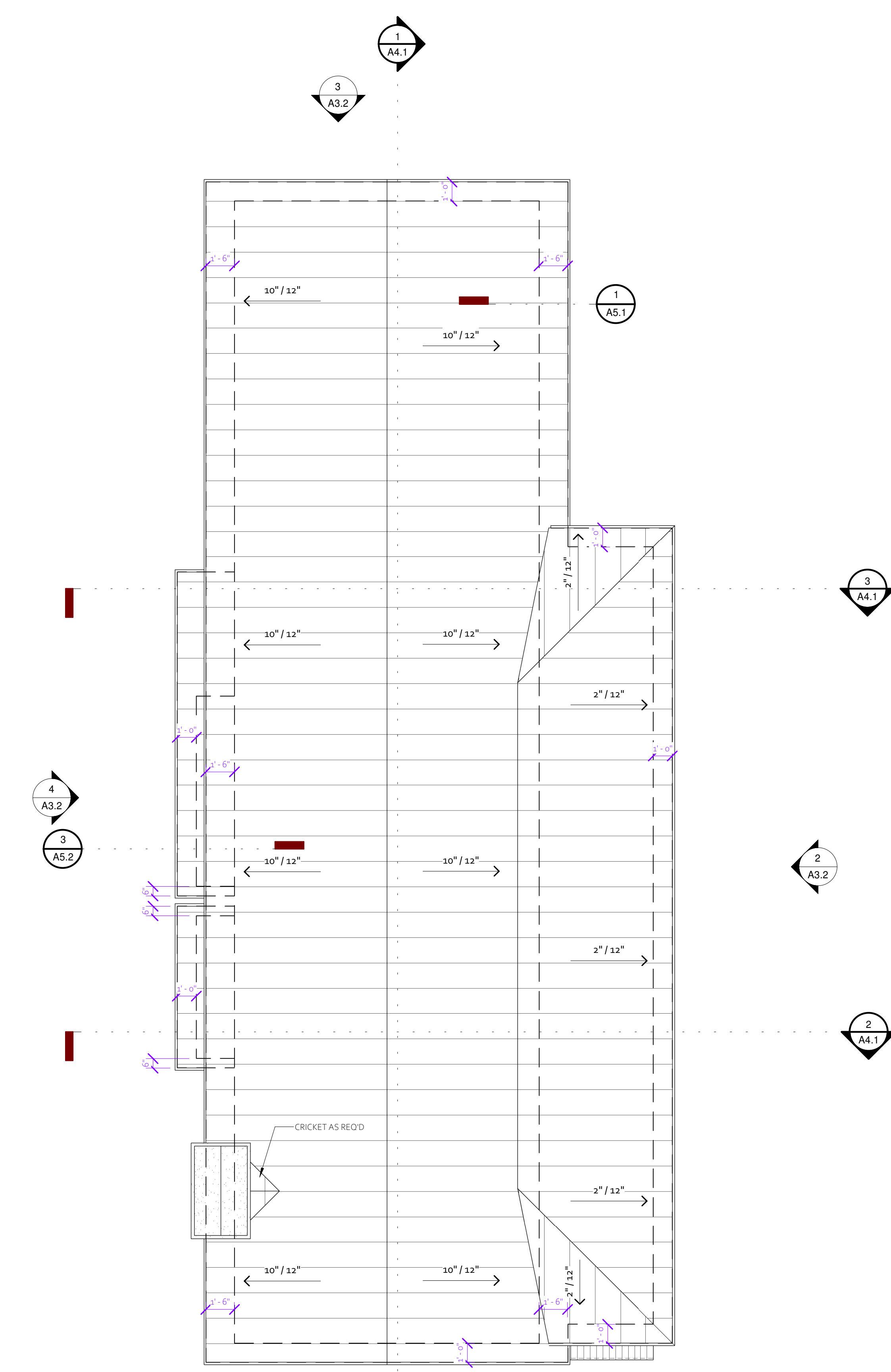
A1.2

NOT FOR CONSTRUCTION - FINAL

1 SECOND FLOOR PLAN
1/4" = 1'-0"



2 ROOF PLAN
1/4" = 1'-0"



WISSMILLER
RESIDENCE

16 Robertson Street
Old Town
Bluffton, SC

REVISIONS

SHEET TITLE

CARRIAGE HOUSE
PLANS

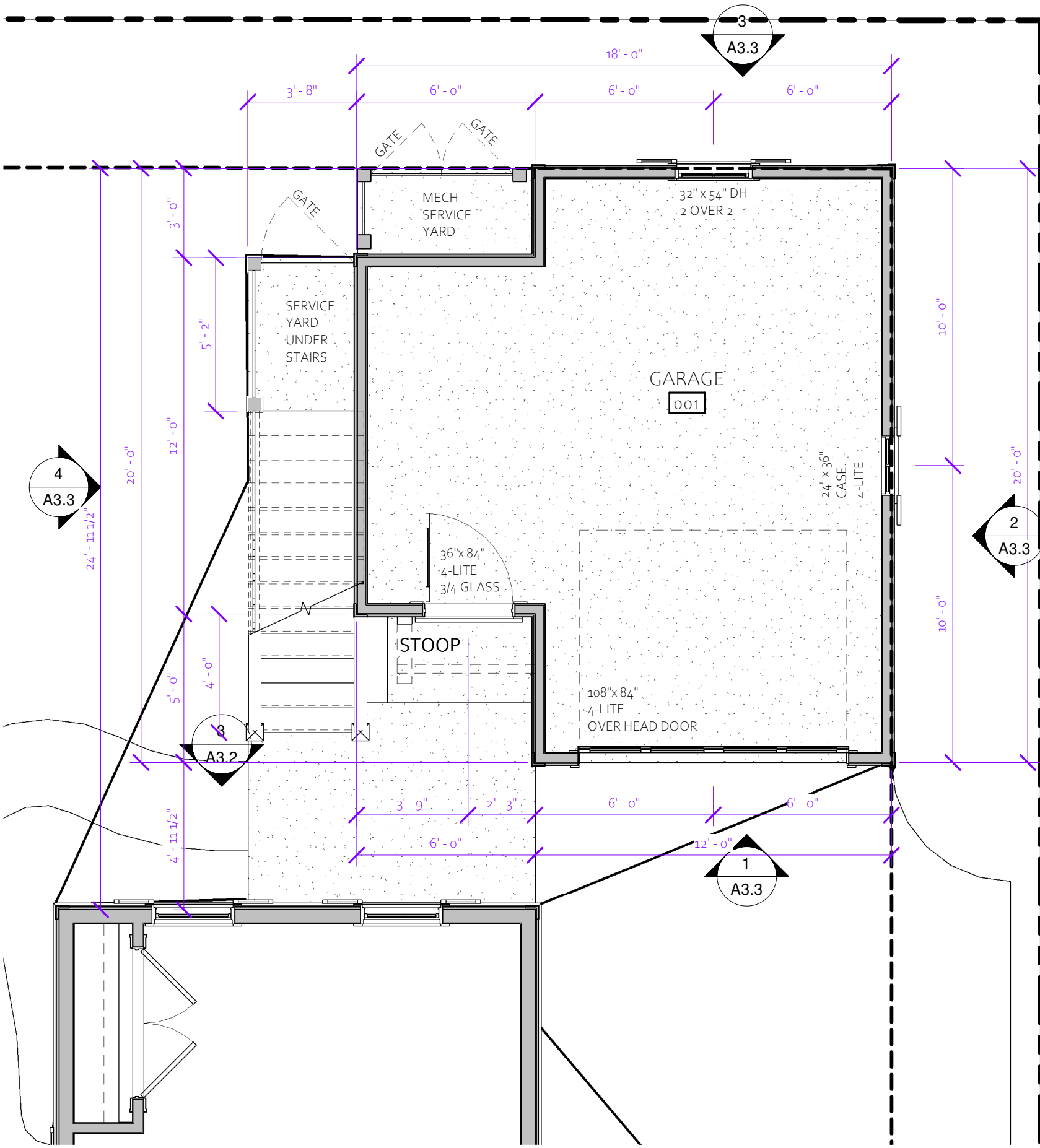
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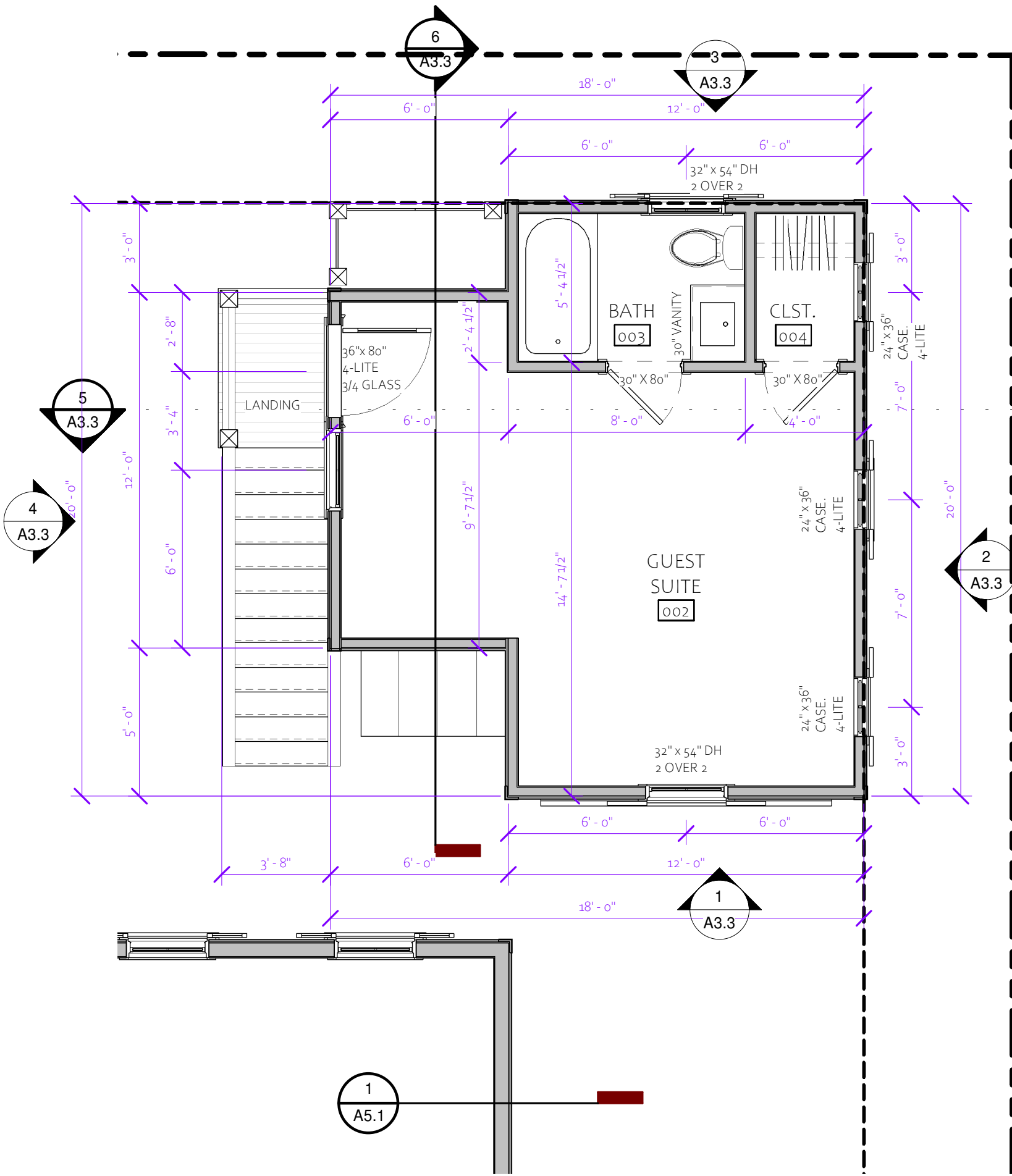
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DATE: **7.7.2021**
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CHECKED BY: **ZDB**
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DRAWER: **WISSMILLER RESIDENCE**

A1.3

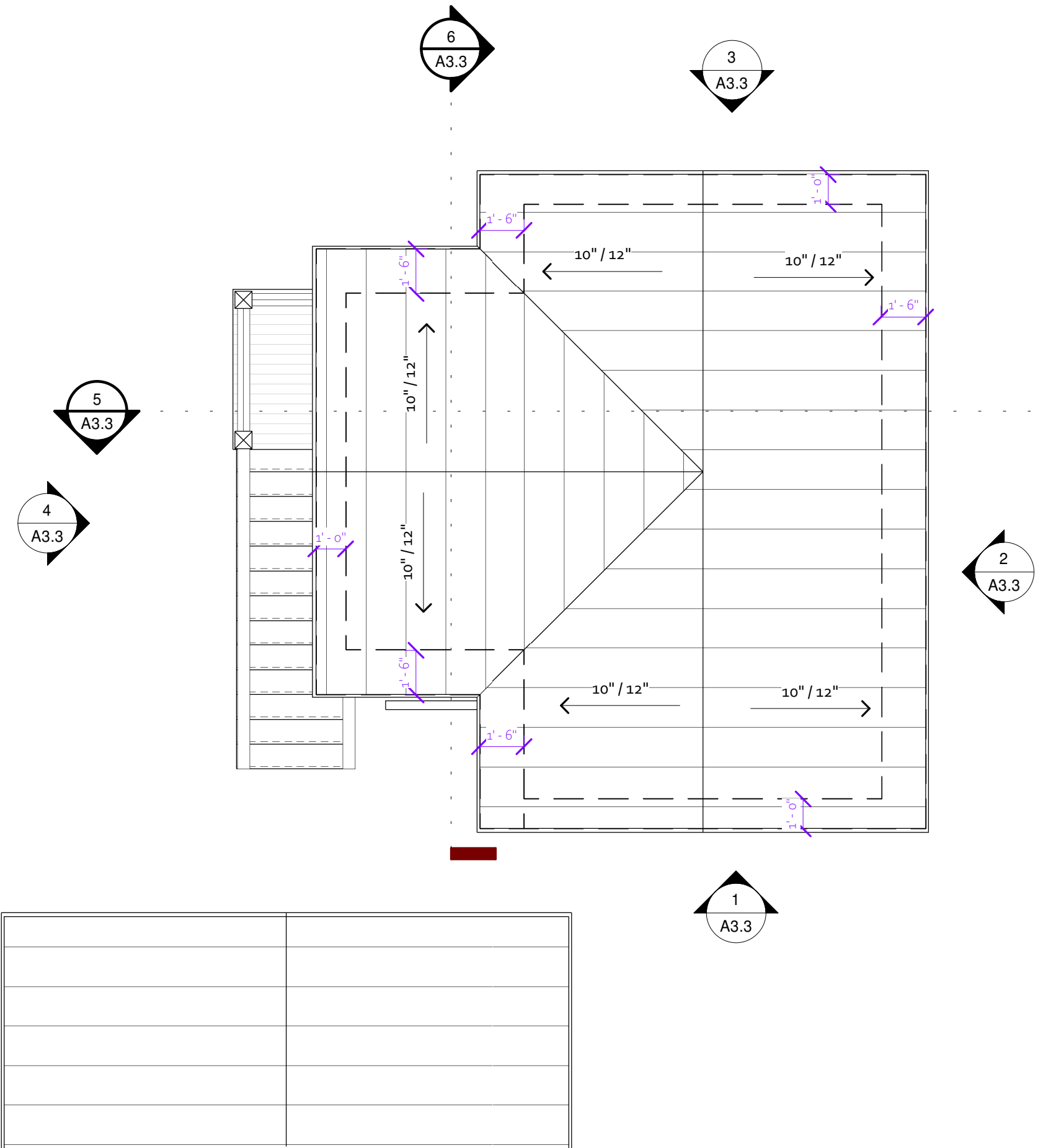
NOT FOR CONSTRUCTION - FINAL



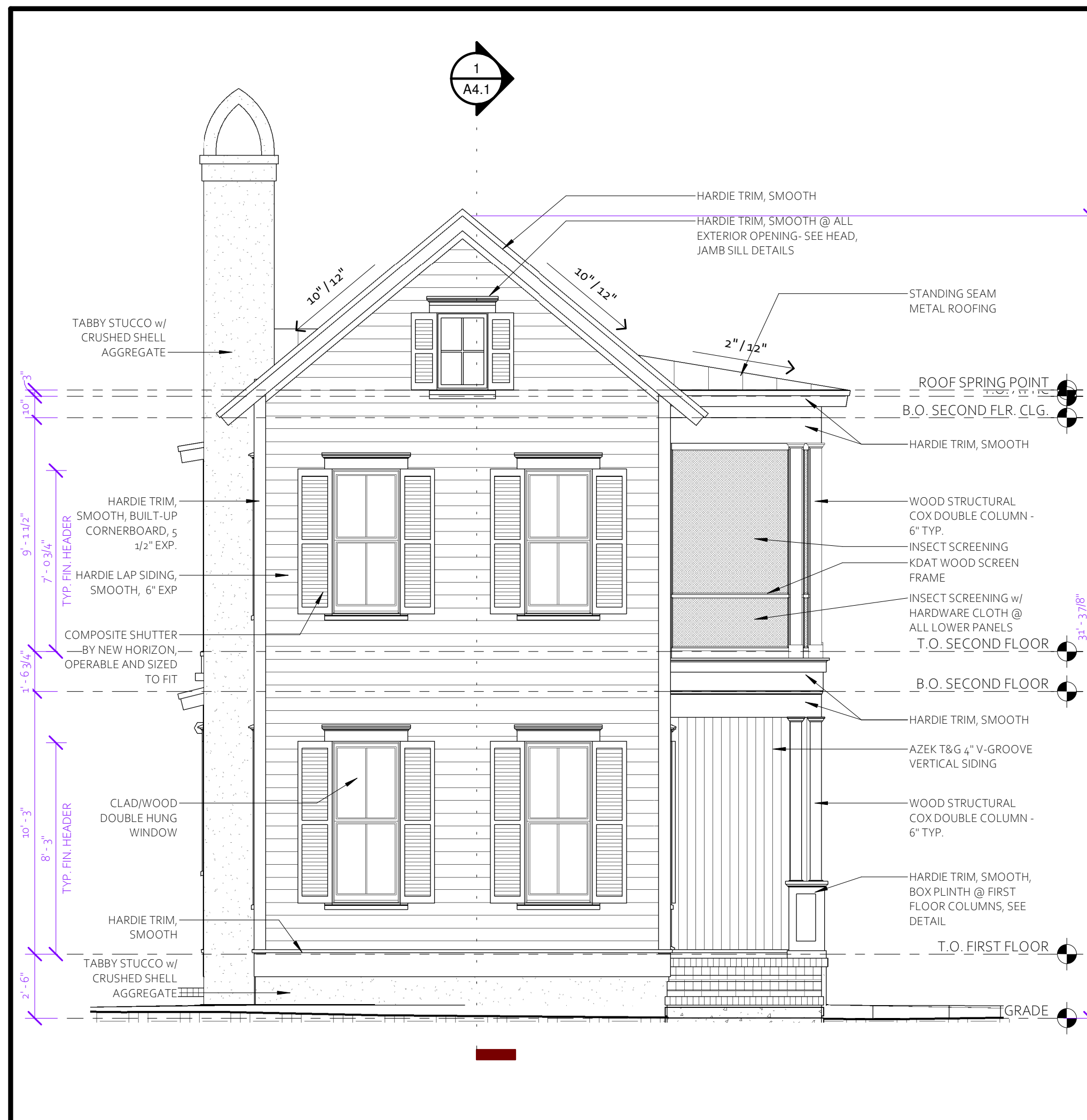
1 CARRIAGE HOUSE FIRST FLOOR PLAN
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2 CARRIAGE HOUSE SECOND FLOOR PLAN
A1.3 1/4" = 1'-0"



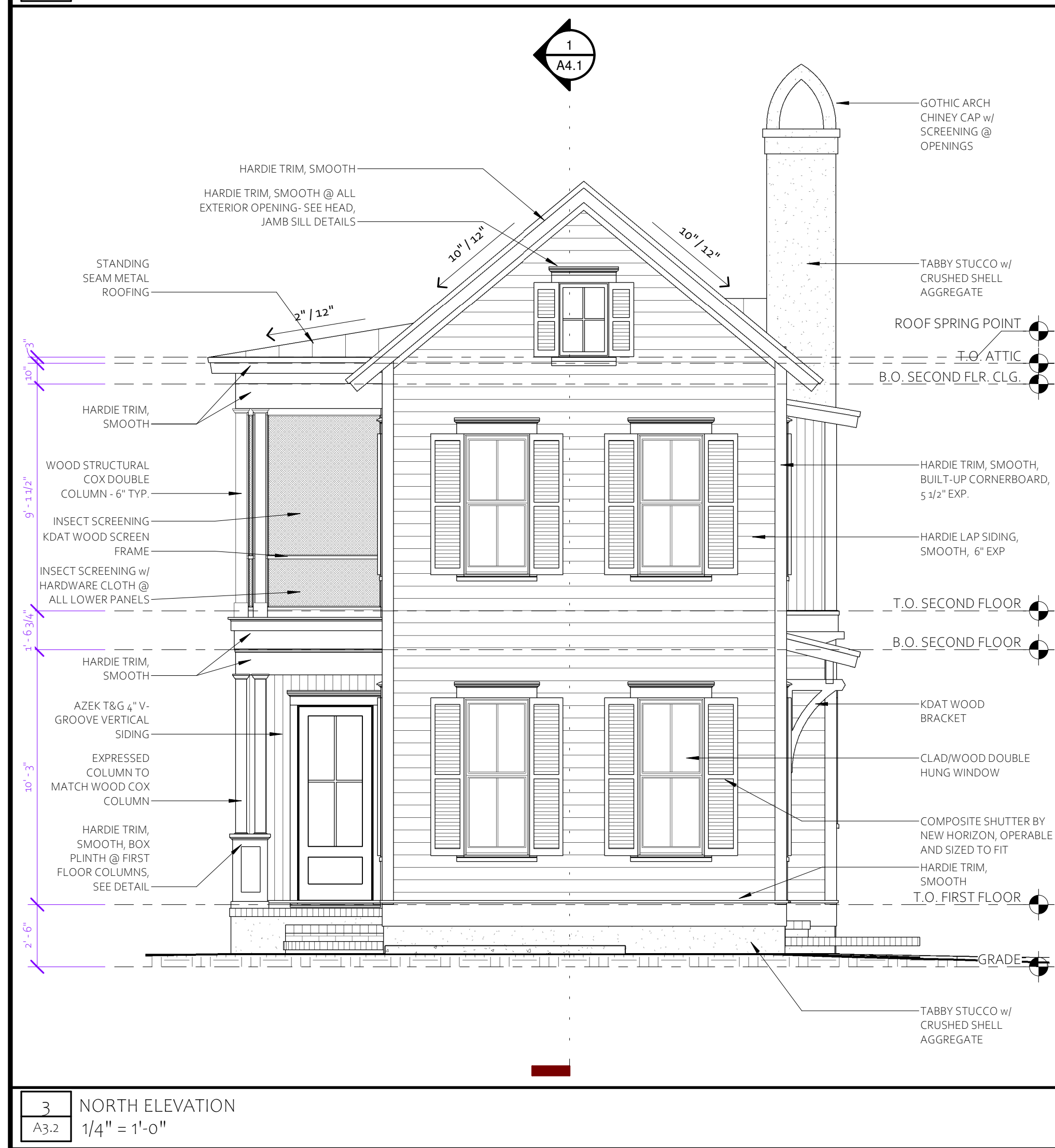
3 CARRIAGE HOUSE ROOF PLAN
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1 SOUTH ELEVATION
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2 EAST ELEVATION
A3.2 1/4" = 1'-0"



3 NORTH ELEVATION
A3.2 1/4" = 1'-0"



4 WEST ELEVATION
A3.2 1/4" = 1'-0"

WISSMILLER RESIDENCE

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Bluffton, SC

REVISIONS

SHEET TITLE

ELEVATIONS - MAIN HOUSE

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DATE: **7.7.2021**
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CHECKED BY: **ZDB**
SCALE: **1/4" = 1'-0"**
DRAWER: **WISSMILLER RESIDENCE**

A3.2

WISSMILLER
RESIDENCE

16 Robertson Street
Old Town
Bluffton, SC

REVISIONS

SHEET TITLE

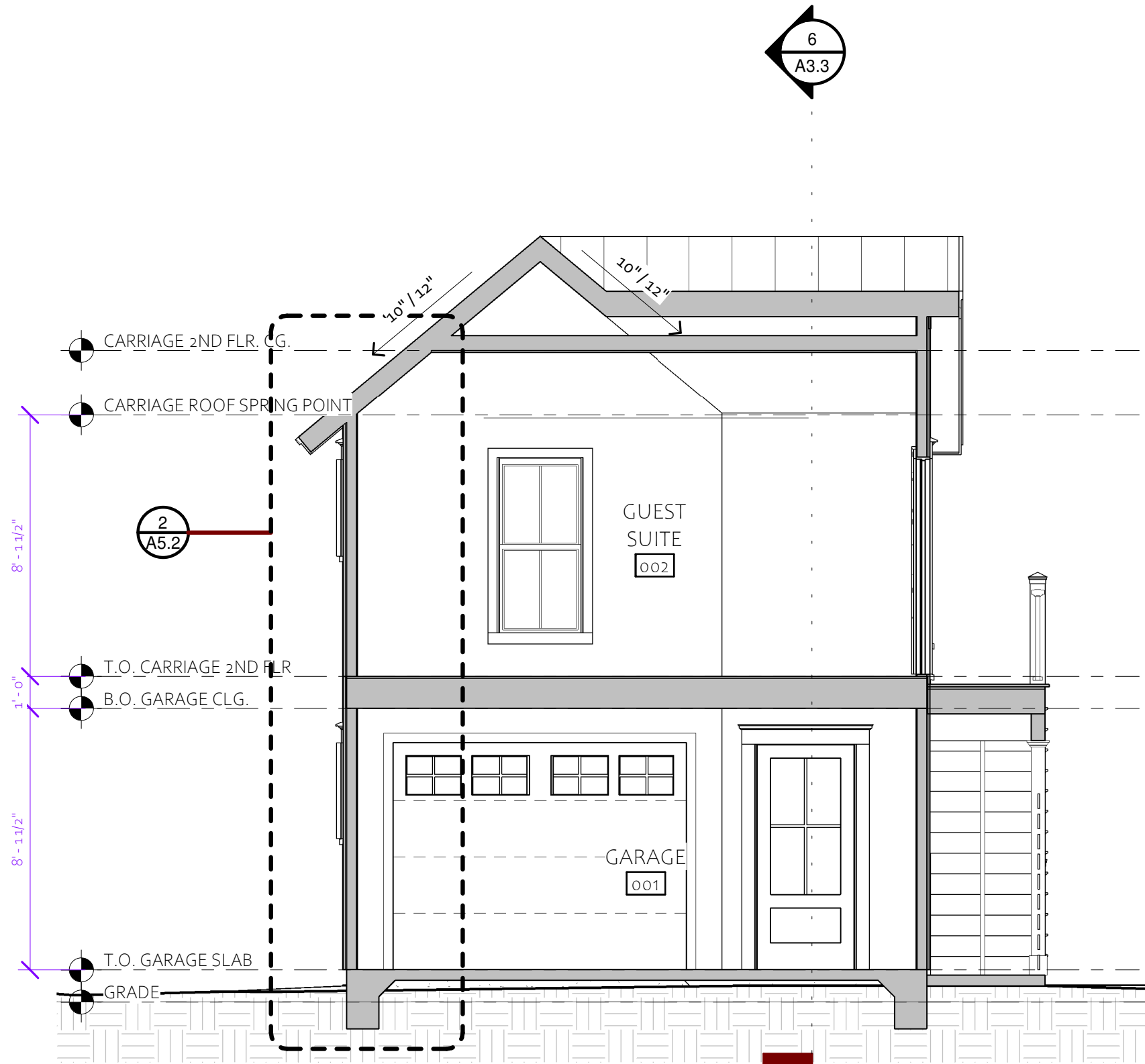
ELEVATIONS -
CARRIAGE HOUSE

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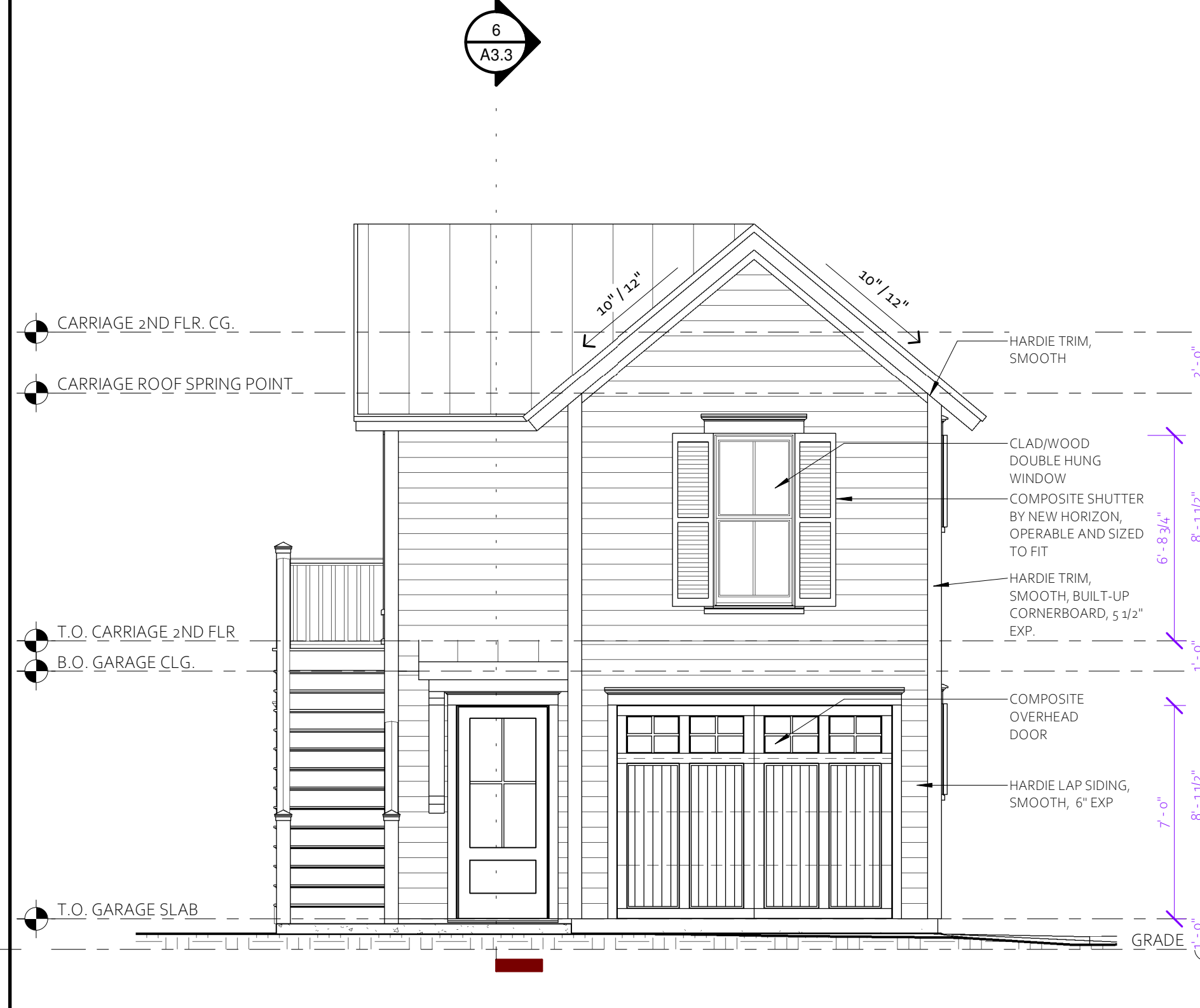
PROJECT NUMBER: **202043** SHEET NO.
DATE: 7.7.2021
DRAWN BY: ZDB
CHECKED BY: ZDB
SCALE: 1/4" = 1'-0"
DRAWER: WISSMILLER RESIDENCE

A3.3

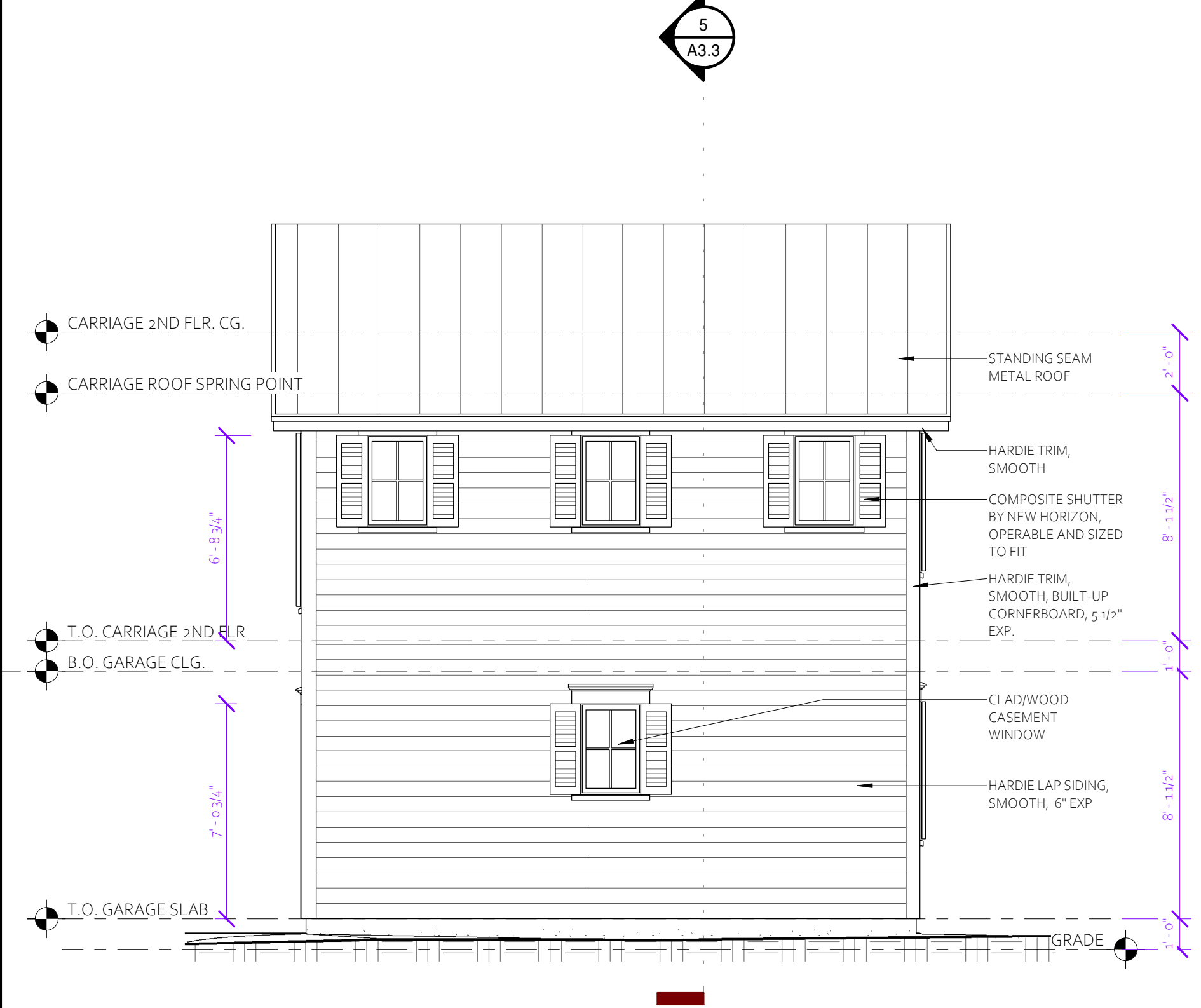
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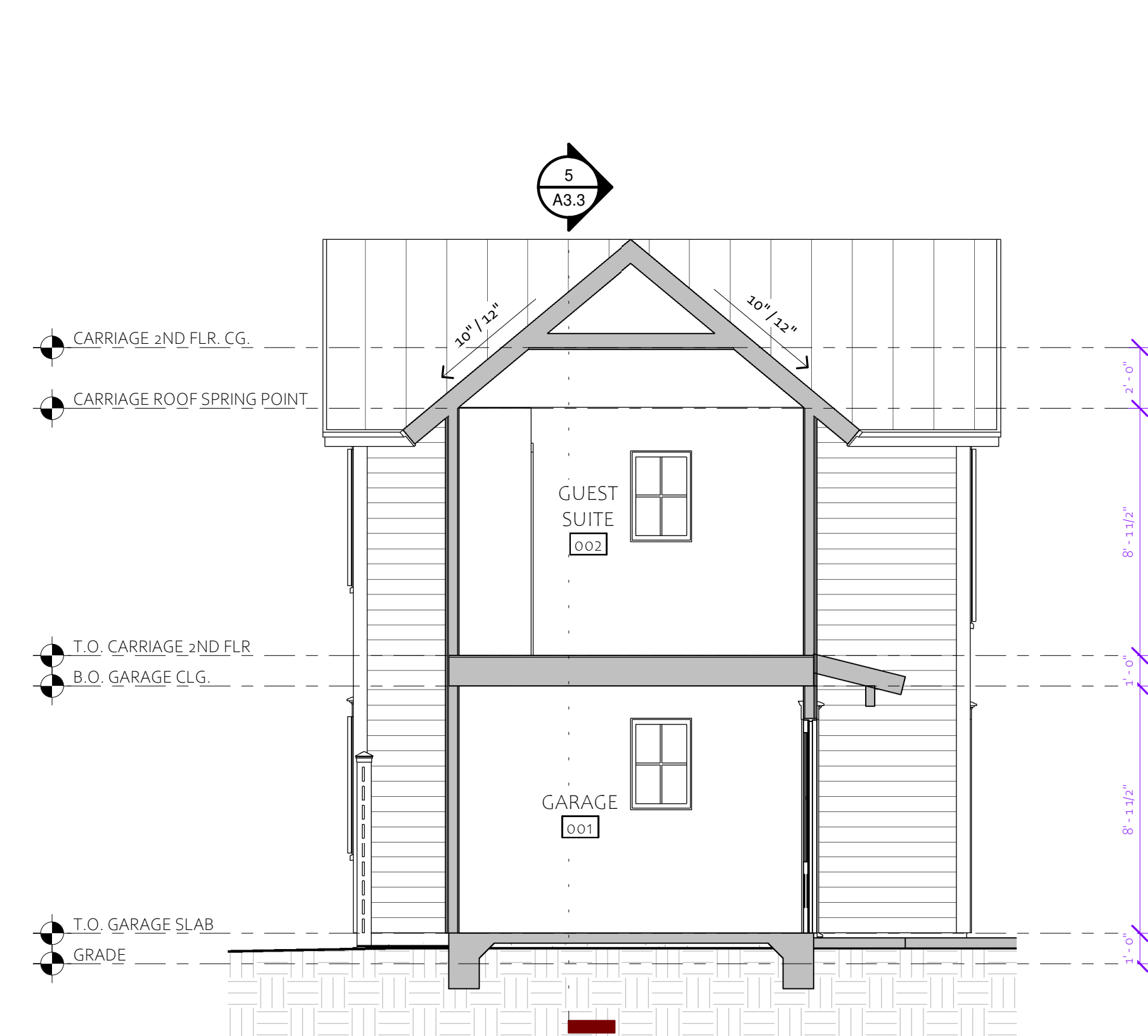
5 BUILDING SECTION "A" - CARRIAGE HOUSE
1/4" = 1'-0"



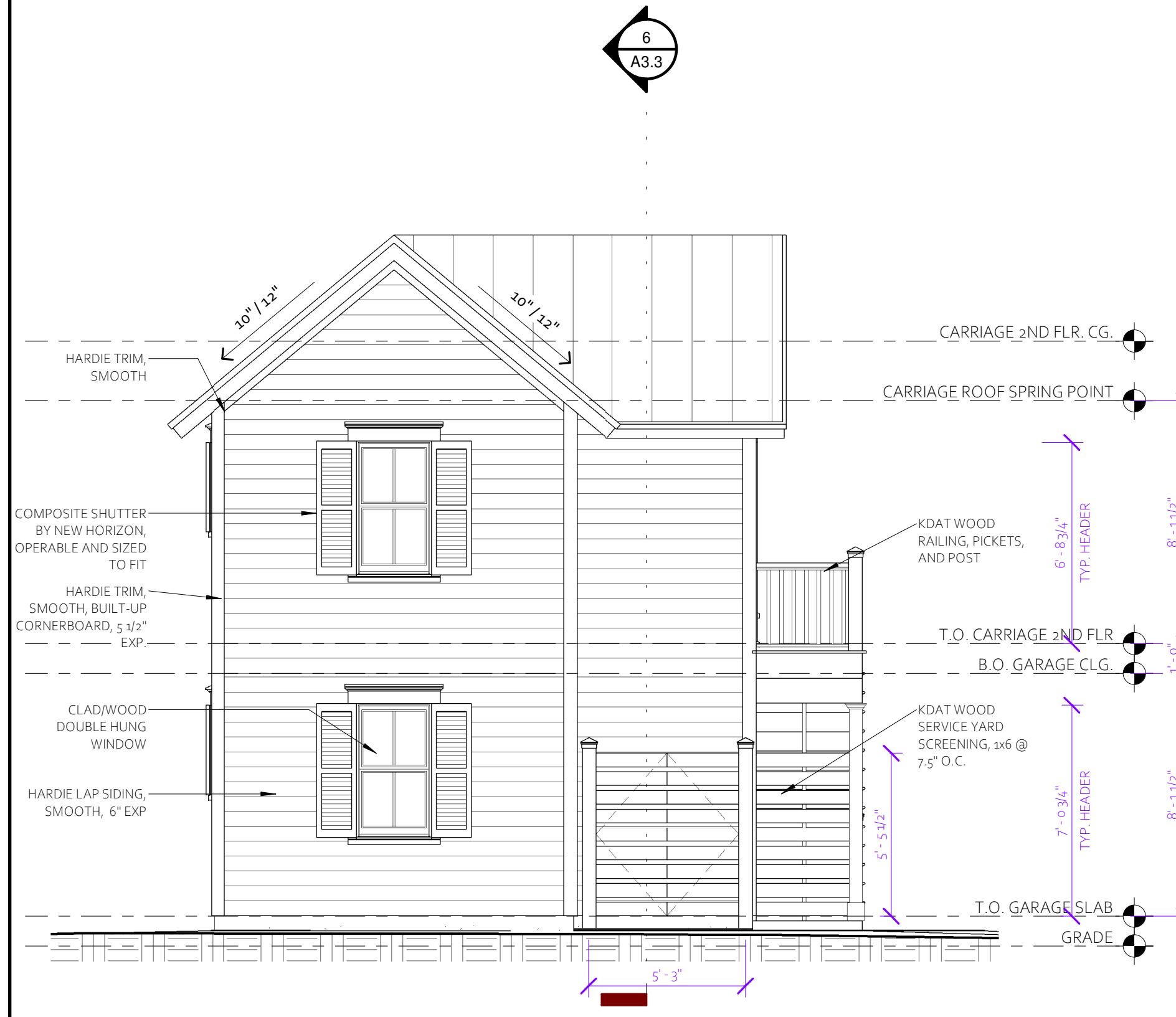
1 SOUTH ELEVATION - CARRIAGE HOUSE
1/4" = 1'-0"



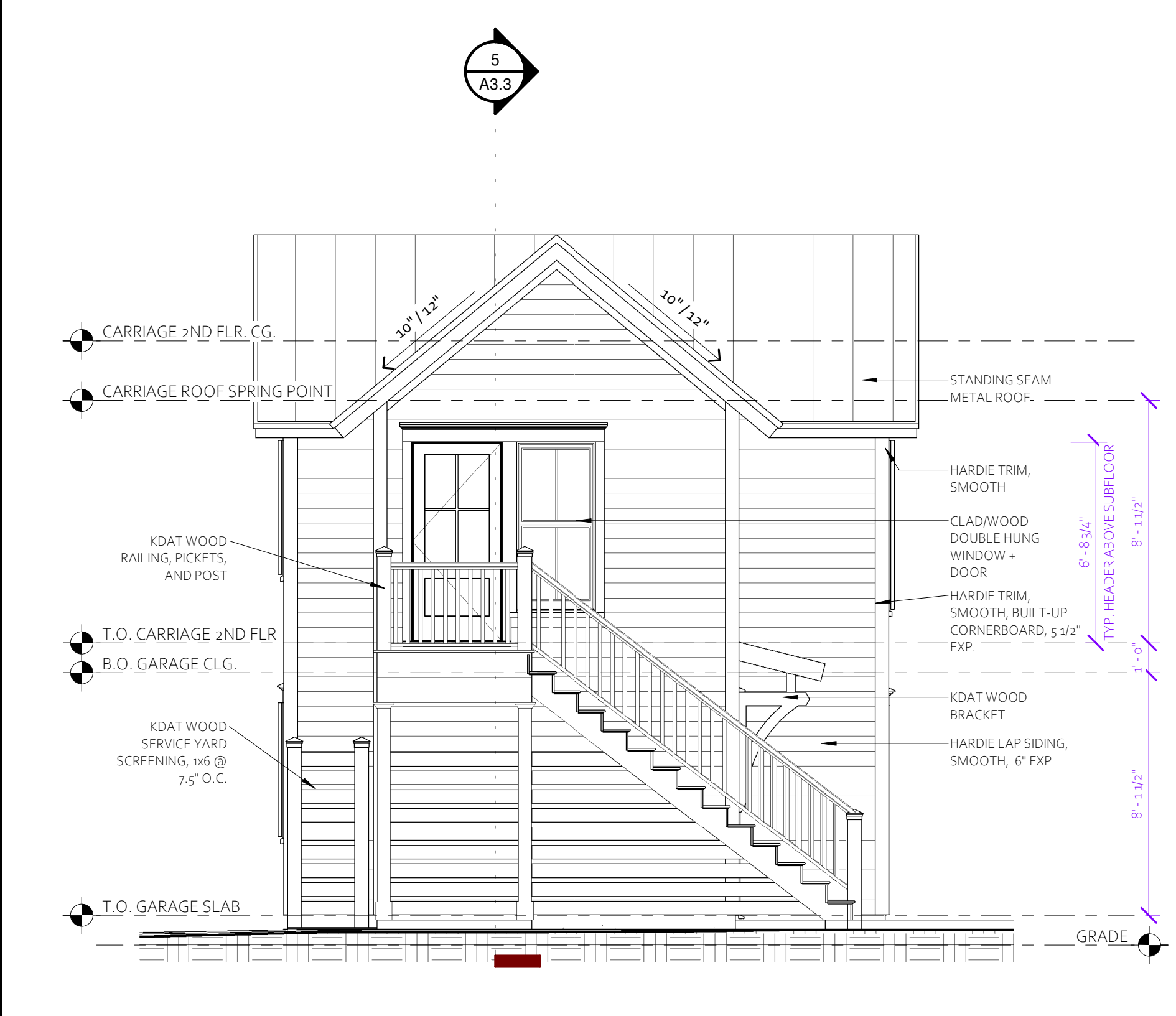
2 EAST ELEVATION - CARRIAGE HOUSE
1/4" = 1'-0"



6 BUILDING SECTION "B" - CARRIAGE HOUSE
1/4" = 1'-0"



3 NORTH ELEVATION - CARRIAGE HOUSE
1/4" = 1'-0"



4 WEST ELEVATION - CARRIAGE HOUSE
1/4" = 1'-0"

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REVISIONS

SHEET TITLE

BUILDING SECTION

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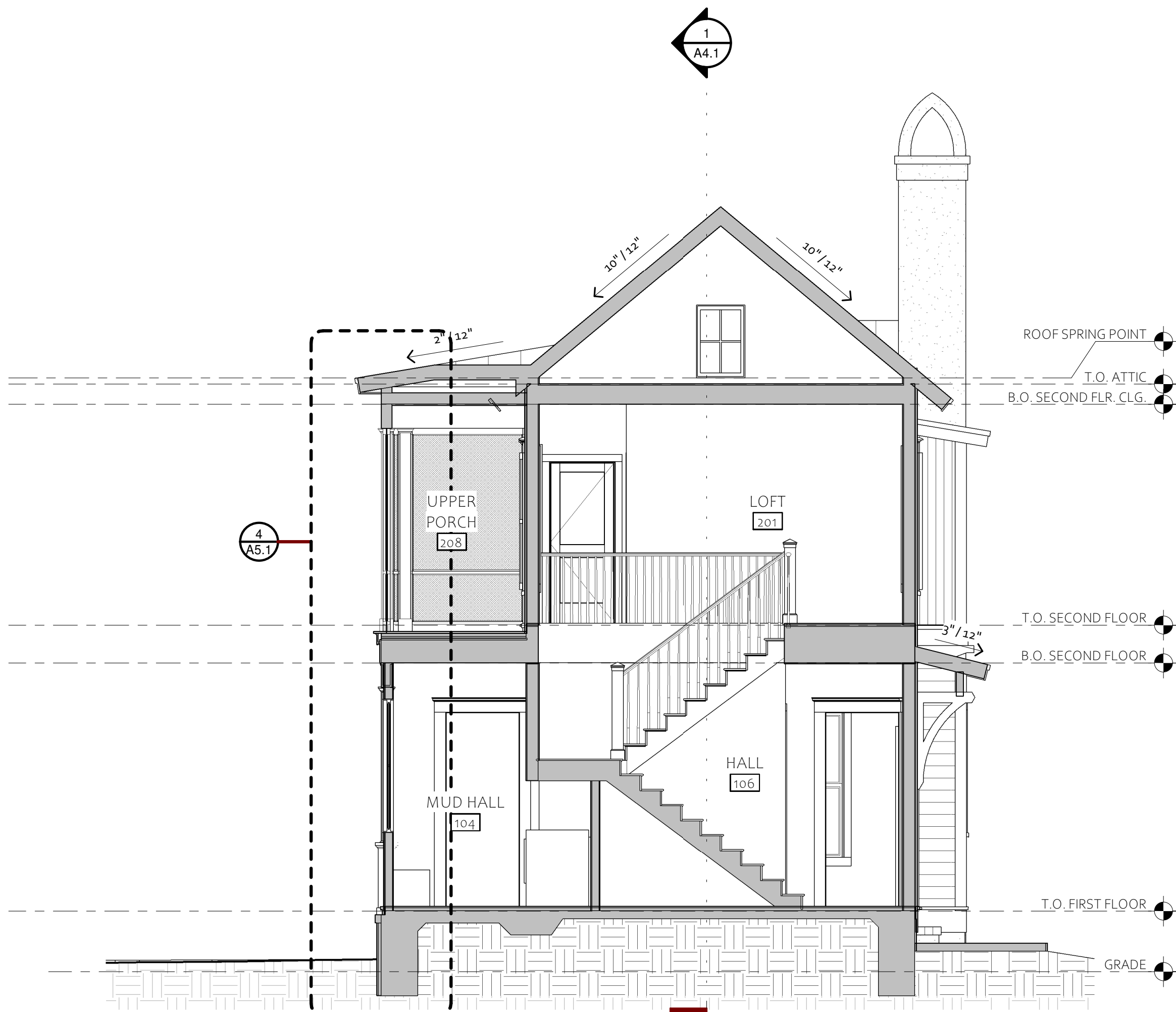
PROJECT NUMBER: **202043** SHEET NO.
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A4.1

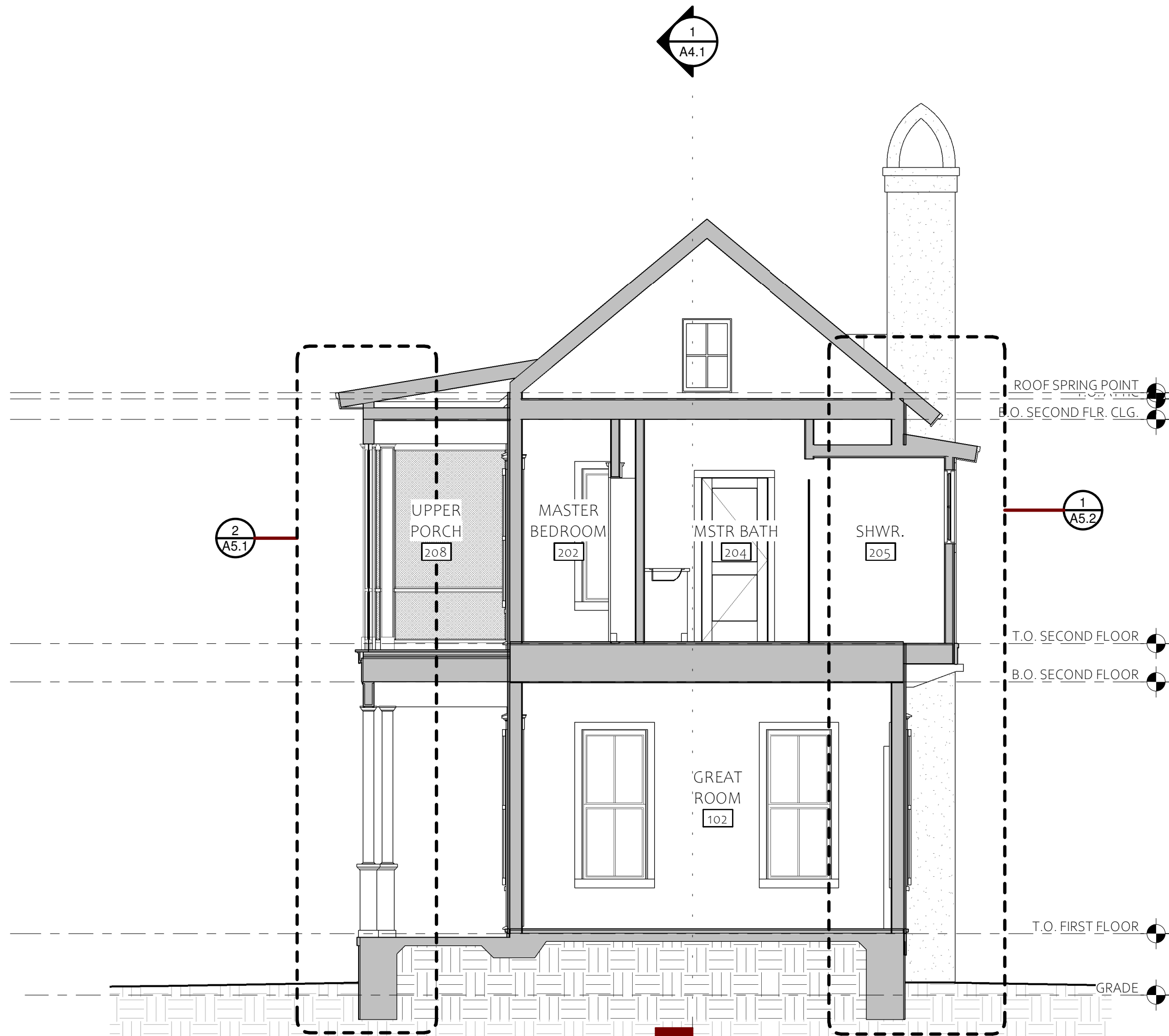
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1 BUILDING SECTION "A"
A4.1 1/4" = 1'-0"



3 BUILDING SECTION "C"
A4.1 1/4" = 1'-0"



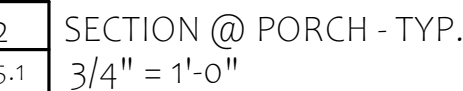
2 BUILDING SECTION "B"
A4.1 1/4" = 1'-0"

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WALL SECTIONS

PROJECT NUMBER: **202043** SHEET NO. **A5**
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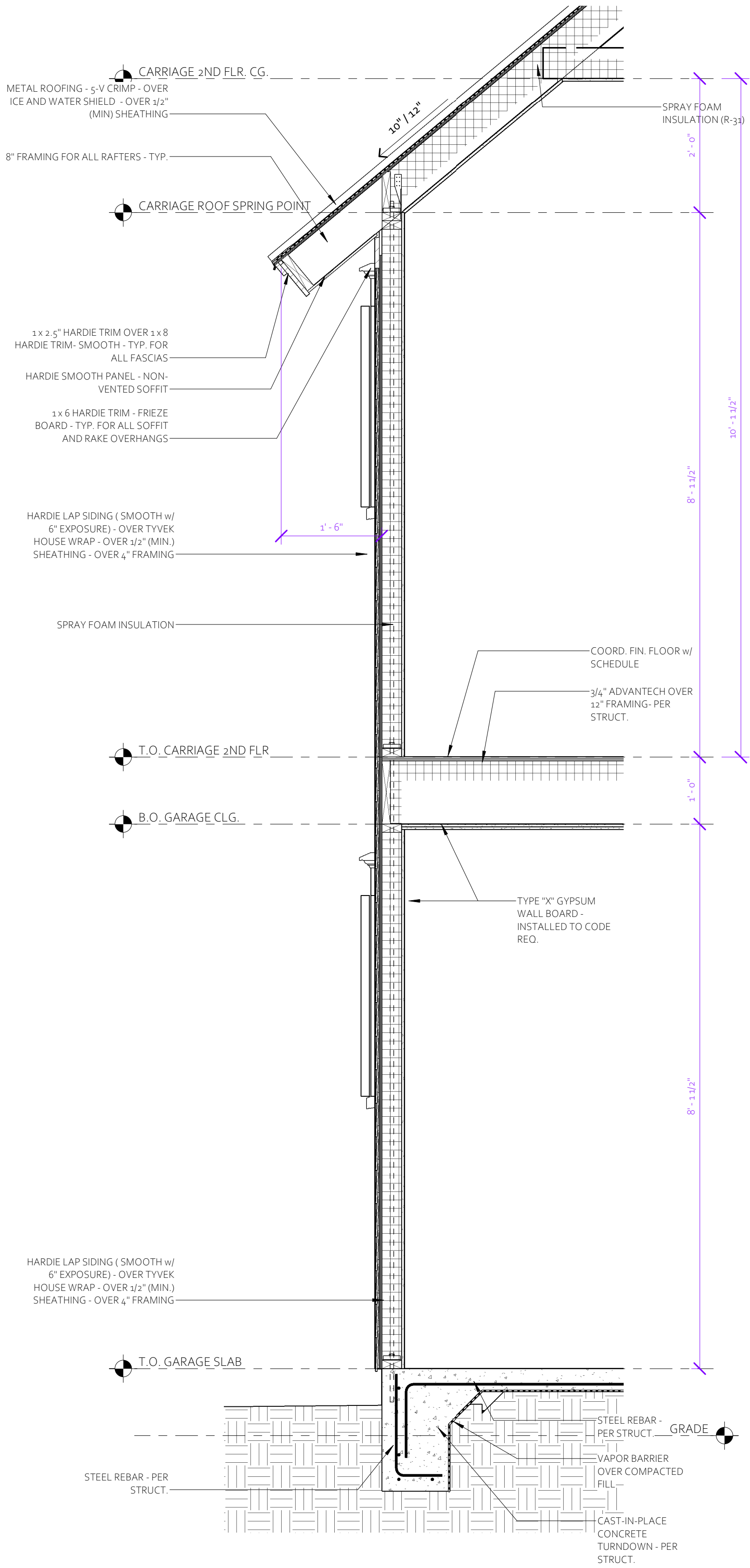
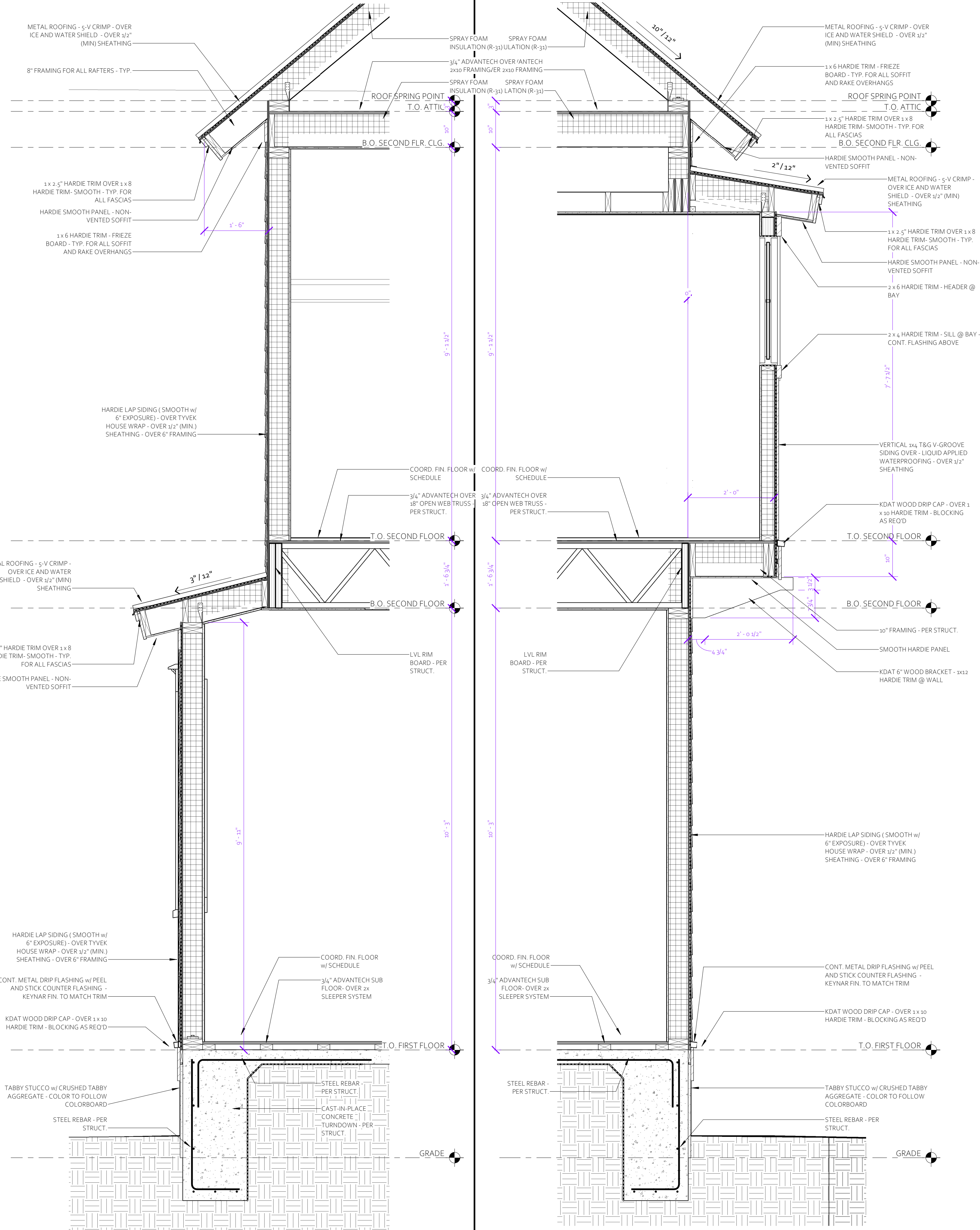
WALL SECTIONS

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A5.2

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2 SECTION @ CARRIAGE HOUSE - TYP.
3/4" = 1'-0"

3 SECTION @ KITCHEN BUMP-OUT
3/4" = 1'-0"

1 SECTION @ CANTILEVERED BOX BAY
3/4" = 1'-0"



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PERSPECTIVES

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SCALE:

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SHEET NO.

A8.0



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CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT: 24"x36"

SITE DEVELOPMENT PLANS
FOR
16 ROBERTSON ST.
LOT 5
BLUFFTON, SOUTH CAROLINA

DATE:	JUN 7, 2021
PROJECT NO.:	XXXXXX
DRAWN BY:	AC
CHECKED BY:	DK

FINAL SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION

REVISIONS:

DRAWING TITLE
COVER SHEET AND
PROJECT NOTES

DRAWING NUMBER

CS

GENERAL NOTES:

- ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES.
- THIS IS A DESIGN DEVELOPMENTS SET USED TO DESCRIBE THE DESIGN INTENT ONLY. ALL CONSTRUCTION DETAILS, LAYOUT, GRADING, UTILITIES, PROPERTY LINES, ETC. MUST BE FIELD VERIFIED WITH ANY DISCREPANCIES REPORTED TO THE OWNERS OR OWNERS REPRESENTATIVE. ALL CONSTRUCTION MUST ADHERE TO OR EXCEED REGULATIONS AND CODES OF THE AMERICANS WITH DISABILITIES ACT, ALL NATIONAL, STATE, LOCAL AND OTHER GOVERNING AUTHORITIES. W.J.K. LTD. IS NOT RESPONSIBLE FOR ANY WRONGFUL CONSTRUCTION PRACTICES.
- IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.
- THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS, AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING FOR ALL CONTRACTORS AND TRADES.
- EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL (COLOR) SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND FOR REVIEWS BY COUNTY AND / OR MUNICIPALITY OFFICIALS FOR INSPECTIONS.
- ALL CONTRACTORS AND ALL TRADES ARE RESPONSIBLE FOR OBTAINING THE CORRECT PERMITS AND INSPECTIONS PRIOR TO CONSTRUCTION AS REQUIRED BY LOCAL PLANNING, ZONING, BUILDING CODE AND OTHER TOWN AUTHORITIES.
- W.J.K. LTD., THE OWNER AND / OR THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. THE OWNER OR OWNERS REPRESENTATIVE SHALL MAKE "IN-FIELD MODIFICATIONS" IF NECESSARY.
- CONTRACTOR SHALL PROVIDE AND FURNISH ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY FOR ALL CONSTRUCTION, PROTECTION, MAINTENANCE AND RELATED ITEMS TO COMPLETE WORK INDICATED ON THE DRAWINGS.
- BEFORE COMMENCING ANY WORK CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES, SUB-SURFACE DRAINAGE, AND UNDERGROUND CONSTRUCTION SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB ANY SUB-SURFACE IMPROVEMENTS. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS IN BRINGING EQUIPMENT ON TO AND OFF OF THE SITE, PROTECTING WALKS, PAVING, STEPS AND OTHER EXISTING CONSTRUCTION ON THE SITE. CONTACTS SHALL BE MADE BY CONTRACTOR WITH PROPER AUTHORITIES BEFORE AND DURING THIS WORK SO AS TO COMPLY WITH ALL REGULATIONS AND ORDINANCES.
- CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES AND CONFIRM / DETERMINE UTILITY ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS, AT THEIR OWN EXPENSE, THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
- CONTRACTOR SHALL VERIFY ALL EXISTING TREE CONDITIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER OR OWNERS REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO THEIR REMOVAL.
- CONTRACTOR SHALL PROTECT AND INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINE OF ALL TREES AND NATURAL AREAS TO REMAIN. TREE PROTECTION LOCATION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION FOR ALL TRADES SHALL CONFORM TO OR EXCEED THE PRODUCT MANUFACTURER'S RECOMMENDATIONS, REGULATIONS OF BEAUFORT COUNTY AND THE AMERICANS WITH DISABILITIES ACT, AND / OR OTHER APPLICABLE NATIONAL, STATE, AND LOCAL CODES AND ANY OTHER GOVERNING AUTHORITIES.
- CONTRACTOR ACCESS FOR CONSTRUCTION AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PROTECT THE GENERAL PUBLIC FROM CONSTRUCTION AREAS DURING CONSTRUCTION.
- ANY DEVIATIONS FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY W.J.K. LTD., AND THE OWNER OR OWNER'S REPRESENTATIVE.

DEMOLITION NOTES:

- THE CONTRACTOR, BEFORE BEGINNING ANY DEMOLITION ACTIVITY, SHALL CONTACT THE LOCAL UTILITIES FOR INSTRUCTION ON SPECIAL PROCEDURES THAT MAY BE REQUIRED BY THE UTILITIES CONCERNING DEMOLITION.
- ALL DEMOLISHED MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF PROPERLY IN A LANDFILL AS APPLICABLE PER BEAUFORT COUNTY CODE(S).
- THE CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS OF LOCAL, STATE AND FEDERAL REGULATORY AGENCIES WHICH MAY HAVE JURISDICTION OVER SUCH ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DATA PROVIDED IN THESE DRAWINGS. THE CONTRACTOR SHALL PERFORM HIS OWN ESTIMATE OF MATERIAL FOR DEMOLITION AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- ALL UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND FOR ESTIMATING PURPOSES ONLY. THE EXACT LOCATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING DEMOLITION WORK. ALL UTILITIES SHALL BE LOCATED AND PROTECTED TO PREVENT DAMAGE. ANY DAMAGE WHICH MAY OCCUR DURING THE CONSTRUCTION PROCESS IS TO BE PROMPTLY REPORTED TO THE APPROPRIATE UTILITY AUTHORITY AND REPAIRS SHALL BE MADE IN ACCORDANCE WITH THEIR REQUIREMENTS. THE SAFE DEMOLITION AND REMOVAL OF UTILITIES, STRUCTURES AND EQUIPMENT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, THE UTILITIES HAVING JURISDICTION OVER ANY UTILITY EASEMENTS OF ANY KIND FOR APPROVAL OF WORK WITHIN THE EASEMENT.
- REMOVAL OF ANY AND ALL MATERIALS INDICATED INCLUDES ALL MATERIALS ASSOCIATED WITH THAT ITEM INCLUDING SUBSURFACE MATERIAL, IF APPLICABLE, NOT NEEDED OR IN NEED OF REPAIR OR REPLACEMENT.
- THE CONTRACTOR SHALL TAKE CARE WHEN WORKING AROUND EXISTING TREES SCHEDULED TO REMAIN. PROPER TREE PROTECTION IN ACCORDANCE WITH LOCAL CODES SHALL BE MADE PRIOR TO CONSTRUCTION BEGINNING AND THROUGHOUT THE CONSTRUCTION PROCESS.
- SOME TREES AND SHRUBS SCHEDULED FOR RELOCATION AND REUSE ON THE PROPERTY MAY NOT BE SALVAGEABLE DUE TO UNDERGROUND UTILITIES.
- BARRIERS AND / OR FLAG MEN MAY BE REQUIRED FOR SAFETY, VERIFY REQUIREMENTS WITH THE OWNER FOR SUCH NEEDS PRIOR TO BEGINNING THE WORK.
- THE OWNER SHALL BE NOTIFIED AS TO THE TIMING OF THE WORK SO THAT PROPER SECURITY NOTIFICATION IS MADE.

GENERAL DISTURBANCE NOTES:

- CONTRACTOR SHALL IMPLEMENT ALL SILT FENCE OR OTHER SEDIMENT CONTROL MEASURES AROUND ALL DISTURBED AREAS PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED AFTER SILT FENCE AND PRIOR TO ALL OTHER CONSTRUCTION ACTIVITIES.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AT LEAST ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER. IF SITE INSPECTIONS IDENTIFY B.M.P.S. THAT ARE DAMAGED OR ARE NOT OPERATING EFFECTIVELY, MAINTENANCE MUST BE PERFORMED AS SOON AS PRACTICAL AND BEFORE THE NEXT STORM EVENT IF PRACTICAL.
- CONTRACTOR TO PROVIDE SILT FENCE AND / OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND / OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED SURFACES FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL REMOVE MUD / SOIL DAILY FROM PAVED SURFACES, AS REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.
- TEMPORARY DIVERSION BERMS AND / OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UP SLOPE RUNOFF AND / OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (W.O.S.), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL W.O.S. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL W.O.S.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGES.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED EXCEPT AS STATED BELOW:
 - WHERE STABILIZATION BY SNOW OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICAL.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

LAYOUT NOTES:

- ALL CONSTRUCTION STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO USE DIGITAL FILES PROVIDED BY WITMER-JONES-KEEFER, LTD. TO LAYOUT AND STAKE ALL SITE IMPROVEMENTS AND ELEMENTS. FINAL LAYOUT AND STAKING TO BE FIELD VERIFIED AND APPROVED BY LANDSCAPE ARCHITECT AND OWNER OR OWNERS REPRESENTATIVE PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL FIELD LOCATE, STAKE AND USE COLOR CODED SPRAY PAINT FOR ALL ABOVE AND BELOW GROUND UTILITIES. CONTRACTOR TO CONFIRM / DETERMINE UTILITY ELEVATIONS PRIOR TO CONSTRUCTION. ANY EXISTING UTILITY CONFLICTS WITH SITE IMPROVEMENTS TO BE REPORTED TO OWNER, OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AS STATED IN THE GENERAL NOTES.
- ANY LAYOUT AND STAKING DISCREPANCIES TO BE REPORTED TO THE OWNER, OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL DIMENSIONS ARE TO EDGE OF PAVING AND CENTERLINE OF WALLS AND COLUMNS UNLESS OTHERWISE INDICATED.
- ALL ANGLES ARE 90 UNLESS OTHERWISE INDICATED.
- CONTRACTOR SHALL PROVIDE LIGHTING, IRRIGATION AND ANY OTHER CONDUIT NEEDED TO ALL LANDSCAPE AREAS.
- ANY AND ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM THE OWNER, OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

GRADING NOTES:

- CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNERS REPRESENTATIVE OF DISCREPANCIES.
- CROSS SLOPES ON ALL HARDSCAPE WALKWAYS / PATHWAYS ARE NOT TO EXCEED 2%.
- IF DISCREPANCIES DEVELOP BETWEEN THE PROPOSED GRADES AS SHOWN ON THE PLAN AND THE EXISTING GROUND SURFACE, THE CONTRACTOR, WITH PRIOR APPROVAL FROM THE OWNERS REPRESENTATIVE, SHALL MAKE GRADING ADJUSTMENTS NECESSARY TO MAINTAIN THE GENERAL INTENT OF THE DESIGN.
- CONTRACTOR IS RESPONSIBLE FOR ALL PAVED AREAS DAMAGED DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL ADJACENT PROPERTIES, WALLS, WALKS AND PLANTING BEDS AND TOWARDS EXISTING DRAIN INLETS, SWALES, STORMWATER LAGOONS OR ROADS.
- ALL DISTURBED AREAS INCLUDING SHALLOW SWALES SHALL BE MULCHED OR PLANTED AS INDICATED ON PLANTING PLANS.
- IF REQUIRED, POP UP EMITTER SHALL BE N.D.S. 6" POP UP DRAINAGE EMITTER BLACK IN COLOR.
- LANDSCAPE DRAIN SHALL BE AS SPECIFIED ON PLANS.
- LANDSCAPE DRAINS SHALL BE ADDED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS IN LOW / FLAT AREAS THAT DID NOT SHOW UP ON THE TOPOGRAPHIC SURVEY. LANDSCAPE DRAIN SHALL BE APPROVED BY OWNER, OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

LIGHTING NOTES:

- LIGHTING PLAN IS A DIAGRAMMATIC DRAWING AND EXACT LOCATIONS OF LIGHT FIXTURES SHALL BE APPROVED BY LANDSCAPE ARCHITECT, OWNER OR OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTRACTOR TO COORDINATE WITH THE BUILDER FOR THE LOCATION OF ELECTRICAL PANEL NEEDED FOR LIGHTING.
- ALL LIGHTING EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS, AND MUST COMPLY WITH ALL APPLICABLE STATE AND COUNTY CODES.
- THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS AND INSPECTION / APPROVALS REQUIRED.
- THE CONTRACTOR SHALL STAKE OUT ALL LIGHT FIXTURE AND TRANSFORMER LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT, OWNER, OR OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. EXACT LOCATIONS OF CONTROLLERS, ELECTRICAL PANELS, ETC. TO BE COORDINATED WITH AND APPROVED BY OWNER, OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL COORDINATE, STAKE AND FLAG ALL LOCATIONS WHERE ELECTRICAL CONDUIT OR P.V.C. SLEEVING MAY BE REQUIRED BENEATH WALKS OR OTHER PAVED AREAS PRIOR TO HARDSCAPE INSTALLATION.
- ALL ELECTRICAL WIRING RUNNING UNDER PAVED AREAS SHALL BE PLACED IN ELECTRICAL CONDUIT OR P.V.C. SLEEVES PROVIDED BY CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, LABOR, EXCAVATION AND BACKFILL NECESSARY TO COMPLETE THE WORK.
- ALL FIXTURES PER MODELS SPECIFIED UNLESS CONTRACTOR GETS APPROVAL FROM LANDSCAPE ARCHITECT FOR A SUBSTITUTION.
- SYSTEM INSTALLATION, INCLUDING PARTS AND LABOR, SHALL BE GUARANTEED AND REPAIRED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.

CONSTRUCTION NOTES:

- THESE DETAILS / ELEVATIONS DESCRIBE THE DESIGN INTENT ONLY. ALL CONTRACTORS AND ALL TRADES TO PRODUCE SHOP DRAWINGS TO SHOW SIZE, MATERIALS, FOOTINGS, DRAINAGE, CONNECTIONS, STRUCTURAL INTEGRITY, ETC. FOR FINAL APPROVAL BY LANDSCAPE ARCHITECT AND OWNER OR OWNERS REPRESENTATIVE.
- ALL CONTRACTORS AND ALL TRADES ARE RESPONSIBLE FOR OBTAINING THE CORRECT PERMITS AND INSPECTIONS PRIOR TO CONSTRUCTION AS REQUIRED BY LOCAL PLANNING, ZONING, BUILDING CODE AND OTHER TOWN AUTHORITIES.
- CONTRACTOR SHALL PROVIDE SAMPLES OF ALL MATERIALS AND OBTAIN APPROVAL FROM OWNER, OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- ON SITE TOPOGRAPHY MAY REQUIRE ADJUSTMENTS OF FINAL SPOT ELEVATIONS ON SITE FOR PROPOSED VERTICAL CONSTRUCTION ELEMENTS. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNERS REPRESENTATIVE PROMPTLY UPON THE DISCOVERY OF ANY SUCH REQUIRED ADJUSTMENTS.
- THE CONTRACTOR SHALL PROVIDE FILL AS IS REQUIRED TO OBTAIN PROPER RELATIONSHIP OF FOOTING TO FINISH GRADE REQUIREMENTS - FEATHER FILL TO ADJACENT EXISTING GRADE TO ASSURE A COORDINATED AND DESIRED EFFECT.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING CONDITIONS SCHEDULED TO REMAIN DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES DURING CONSTRUCTION.
- "IN-FIELD MODIFICATIONS" MAY BE NECESSARY TO PRODUCE DESIRED EFFECT. MODIFICATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER OR OWNERS REPRESENTATIVE.
- ALL WELDS TO BE CONTINUOUS.
- FOR ALL WOOD MEMBERS, ALL CUTS SHALL BE EVEN AND JOINTS FLUSH. SAND FOUR SIDES AND FILL IMPERFECTIONS, COUNTERSINKS AND NAIL HOLES TO ASSURE EVEN FINISH.
- CONTRACTOR SHALL VERIFY ALL WOOD MEMBERS FOR APPROPRIATE SIZE, SPACING, ATTACHMENTS AND STRUCTURAL STABILITY PRIOR TO CONSTRUCTION. CONTRACTOR TO REPORT ANY DISCREPANCIES TO OWNER, OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL NOTCHES SHALL BE SHOP CUT TO ASSURE TIGHT JOINTS. EACH MEMBER SHALL BE DRIVEN HOME TO ASSURE TIGHT FIT. PILOT HOLES SHALL BE DRILLED FOR EACH CARRIAGE BOLT. PLUG, SEAL AND PRIME.
- PRIME AND PAINT ALL SURFACES AFTER ALL CUTS WITH TWO COATS OF PRIMER PAINT FOR EXTERIOR USE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. (PRIME ALL SIDES PRIOR TO ASSEMBLY). CONTRACTOR TO PROVIDE COLOR SAMPLES PRIOR TO CONSTRUCTION.
- SAND ALL WOOD MEMBERS ON ALL SURFACES AFTER ALL CUTS. APPLY SEALANT AND STAIN IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. (SEAL AND STAIN ALL SIDES PRIOR TO ASSEMBLY). CONTRACTOR TO PROVIDE COLOR SAMPLES PRIOR TO CONSTRUCTION.
- FINISH ALL SIDES AND CAULK ALL JOINTS WITH APPROPRIATE EXTERIOR CAULK PRIOR TO FINISHING.
- ALL CONNECTORS, UNLESS OTHERWISE SPECIFIED, SHALL BE STAINLESS STEEL. BOLTS, THREADED RODS, WASHERS, NUTS AND ALL BUILDING HARDWARE SHALL BE STAINLESS STEEL AND SUITABLE FOR PRESSURE TREATED WOOD. ALL THROUGH BOLTS TO BE SMOOTH SHAFT WITH STAINLESS STEEL NUTS, BOLTS AND WASHERS. ALL NAILS AND FINISH NAILS SHALL BE ANNULAR STAINLESS STEEL.
- ALL DECKING SHALL BE SECURED WITH STAINLESS STEEL SCREWS SIZED FOR DECK APPLICATION. MINIMUM 3" APART.

PLANTING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS, INCLUDING UTILITIES, AND PROMPTLY REPORTING ANY DISCREPANCIES OR CONFLICTS WITH PLANTING AREAS. REPORT INFORMATION TO OWNER, OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
- LANDSCAPE PLANTING AND / OR MULCHED AREAS TO BE FINE GRADED, HAND RAKED SMOOTH AND FREE OF DEBRIS.
- CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY TO ASSURE PLANT HEALTH AND GROWTH. MULCH ALL PLANTING BEDS TO A MIN. 3" DEPTH WITH MULCH SPECIFIED IN PLANT SCHEDULE.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID / PROPOSAL IS SUBMITTED.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFFS USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION. REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- GALLON SIZES ARE FOR PRICING PURPOSES ONLY. PLANT MUST MEET HEIGHTS AND WIDTHS SPECIFIED IN PLANT SCHEDULE.
- ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
- ANY SIGNIFICANT ROOTS ENCOUNTERED 2" DIA. AND LARGER SHALL BE DUG OUT BY HAND AND CLEANLY CUT BACK IN THE FOOTING / FOUNDATION AREA TO PROMOTE ROOT RE-GROWTH AND HELP PREVENT ROOT DIEBACK.
- ALL PLANT MATERIAL (EXCEPT SEASONAL COLOR) SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
- ALL SEASONAL COLOR SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR THREE MONTH TIME FRAMES.

SOIL AMENDMENT NOTES:

- TOPSOIL SHALL CONSIST OF THE NATURAL LOAM, SANDY LOAM, SILT LOAM, OR CLAY LOAM HUMUS BEARING SOILS, ADAPTED TO THE SUSTENANCE OF PLANT LIFE, WITH THE FOLLOWING TEXTURE:
 - ORGANIC MATERIAL - TWO (2) TO TWENTY (20) PERCENT BY MASS
 - SAND CONTENT - TWENTY (20) TO SIXTY (60) PERCENT BY MASS
 - CLAY-SILT CONTENT - THIRTY FIVE (35) TO SEVENTY (70) PERCENT BY MASS.
- TOPSOIL PH SHALL BE BETWEEN FIVE (5) AND SEVEN (7).
 - TOPSOIL SHALL BE OF UNIFORM QUALITY AND FREE FROM FOREIGN MATERIAL SUCH HARD CLODS, SOD, STIFF CLAY, HARD PAN, STONES LARGER THAN ONE (1) INCH DIAMETER, LIME CEMENT, ASHES, SLAG, CONCRETE, TAR RESIDUES, TARRIED PAPER, BOARDS, CHIPS, STICKS, OR OTHER UNDESIRABLE MATERIALS. IT SHALL ALSO BE REASONABLY FREE FROM WEEDS AND OBJECTIONABLE PLANT MATERIAL.
- AFTER ALL DEMOLITION, CLEARING AND DISPOSAL IS COMPLETED, THE CONTRACTOR SHALL STRIP FROM THE TOP OF THE EXISTING GROUND ALL TOPSOIL IN ALL AREAS TO BE GRADED.
- PRIOR TO STOCKPIILING OF TOPSOIL, TOPSOIL SHALL BE SCREENED WITH A ONE HALF (1/2) INCH SIZE SIEVE. STOCKPILE TOPSOIL IN DESIGNATED OR APPROVED LOCATIONS WITH PROPER DRAINAGE AND WHERE IT WILL NOT INTERFERE WITH THE WORK. AFTER TOPSOIL HAS BEEN STOCKPILED, CONTRACTOR SHALL QUANTIFY THE AMOUNTS AT NO ADDITIONAL COST TO THE OWNER. QUANTITIES SHALL BE GIVEN TO THE ARCHITECT, OWNER AND SITE DESIGN PROFESSIONAL.
- IF AMOUNT OF SCREENED TOPSOIL STOCKPILED FROM STRIPING OPERATIONS IS INSUFFICIENT TO PROVIDE THE NECESSARY AMOUNTS (4" MINIMUM DEPTH), IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN (FROM OFF-SITE SOURCE) THE NECESSARY AMOUNT OF SCREENED TOPSOIL TO COMPLETE THE PROJECT.
- SCREENED TOPSOIL SHALL BE DISTRIBUTED WITH A MINIMUM DEPTH OF FOUR (4) INCHES TO ALL GRADED AREAS (NOT INCLUDING BUILDING, PAVED, SYNTHETIC TURF, PERVIOUS PAVEMENT, ETC.) AND / OR AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE. GROUND SHALL BE SCARIFIED BEFORE PLACING TOPSOIL. AREAS WHERE SCREENED TOPSOIL IS DISTRIBUTED SHALL BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATION (SEASON DEPENDENT) OR TEMPORARY MULCH WITHIN FOURTEEN (14) CALENDAR DAYS OF DISTRIBUTION.

TURF AND GRASSING NOTES:

- AFTER TOPSOIL HAS BEEN INSTALLED, AND BEFORE ANY SOD IS LAID, CORRECT ALL SOFT SPOTS AND IRREGULARITIES IN GRADE. THE SOD SHALL BE LAID BY BUTTING THE ENDS AND SIDES UP EVENLY AND STAGGERING THE JOINTS OF SOD. CONTRACTOR SHALL NOT OVERLAP SOD. AS SOON AS THE SOD IS LAID OR AS IT IS BEING LAID ROLL OVER WITH A LIGHT ROLLER, MAKING CERTAIN THAT ALL OF THE SOD IS IN CONTACT WITH THE SOIL. THE COMPLETED SODDED AREAS SHALL BE TRUE TO FINISH GRADE, EVEN AND FIRM AT ALL POINTS.
- UPON COMPLETION OF PLANTINGS ALL EXCESS SOIL STONES AND DEBRIS WHICH HAS NOT PREVIOUSLY BEEN CLEANED UP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AS DIRECTED BY THE OWNERS REPRESENTATIVE.
- ALL LAWN AREAS THAT DO NOT SHOW SATISFACTORY GROWTH WITHIN (18) DAYS AFTER PLANTING SHALL BE RE-PLANTED AND RE-FERTILIZED AS SPECIFIED UNTIL A SATISFACTORY LAWN IS ESTABLISHED. THE LAWN SHALL BE CONSIDERED ESTABLISHED WHEN ITS REASONABLY FREE FROM WEED, GREEN IN APPEARANCE AND THE SPECIFIED GRASS IS VIGOROUS AND GROWING WELL ON EACH SQ. FT. OF LAWN AREA.
- LAWN SHALL BE PROTECTED AND MAINTAINED BY WATERING, MOWING, AND REPLANTING, OVERSEEING, AS NECESSARY FOR AS LONG AS IS NECESSARY TO ESTABLISH A UNIFORM STAND. SCATTERED BARE SPOTS, NONE OF WHICH IS LARGER THAN ONE SQ. FT., WILL BE ALLOWED UP TO MAXIMUM OF THREE PERCENT OF ANY LAWN AREA. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ANY EROSIONAL DAMAGE TO THE LAWN AREA. FULL COVERAGE IS REQUIRED IN SIXTY DAYS.
- MAINTENANCE OF GRASSED AREAS SHALL CONSIST OF MOWING, WATERING AND FERTILIZING. ALL GRASSED AREAS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6" ABOVE FINISHED GRADE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL GRASSED AREAS UNTIL ACCEPTANCE BY OWNER AT END OF PROJECT. LAWN MAINTENANCE SHALL OCCUR AT A MINIMUM OF ONCE PER SEVEN CALENDAR DAYS.

IRRIGATION NOTES:

- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, BACK FLOW CONTROLLER, AND IRRIGATION METER AND TO PROVIDE 100% COVERAGE FOR ALL NEW PLANTINGS. DRIP IRRIGATION TO BE USED FOR ALL PLANTINGS, EXCEPT LAWNS.
- NO IRRIGATION COMPONENTS SHALL BE CLOSER THAN 12" TO ANY EDGE OF PAVEMENT OR CURB AND GUTTER. IRRIGATION SHALL NOT SPRAY BEYOND LANDSCAPED AREAS, OR INTO ANY UNDISTURBED BUFFERS. NO OVER SPRAY SHALL BE PERMITTED ONTO ADJACENT PROPERTIES OR PEDESTRIAN SIDEWALK AREAS.
- LANDSCAPE CONTRACTOR TO FIELD VERIFY ALL COMPONENT LOCATIONS TO ENSURE APPROPRIATE COVERAGE.
- LANDSCAPE CONTRACTOR SHALL LOCATE WATER SOURCE AND PROVIDE POWER TO CONTROLLER.
- CONTROLLER LOCATION TO BE SPECIFIED BY OWNERS REPRESENTATIVE IN FIELD PRIOR TO CONSTRUCTION.
- ALL DRIP TUBING SHALL BE COVERED WITH MIN. 3" OF MULCH.
- ALL DRIP AND SPRAY ZONES SHALL BE SEPARATE.
- CONTRACTOR SHALL SUBMIT FINAL IRRIGATION PLANS TO OWNERS REPRESENTATIVE AND ALL REVIEWING BODIES / AGENCIES FOR FINAL APPROVAL PRIOR TO INSTALLATION.

****CAUTION****



SHEET INDEX

CS - COVER SHEET AND PROJECT NOTES

L1 - LANDSCAPE PLAN

L2 - PLANT DETAILS

L3 - PAVING DETAILS

ISSUED:
JUNE 7, 2021

PROJECT TEAM

LANDSCAPE ARCHITECT

WITMER JONES KEEFER
BLUFFTON, SC
(843) 757.7411

ARCHITECTURE

ALL ARCHITECTURAL
INFORMATION WAS TAKEN FROM
DIGITAL FILES PROVIDED BY:

HANSEN ARCHITECTS
SAVANNAH, GA
(912) 234.8056

SURVEYING

ALL TOPOGRAPHY, EXISTING TREES,
SITE BOUNDARY, SITE SURVEY DATA,
ETC. WERE TAKEN FROM DIGITAL
FILES PROVIDED BY:

RLA ASSOCIATES, PA
BLUFFTON, SC
(843) 705.8030

SITE COVERAGE	
IMPERVIOUS COVERAGE	ACTUAL COVERAGE (SF)
BUILDING FOOTPRINT(S)	1684 SF
IMPERVIOUS HARDSCAPE (TABBY)	303 SF
TOTAL IMPERVIOUS	1987 SF
HOMESITE SF TOTAL	4000 SF
% SITE COVERAGE	50%



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CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
FOR
16 ROBERTSON ST.
LOT 5
BLUFFTON, SOUTH CAROLINA

DATE: JUN 7, 2021
PROJECT NO.: XXXXX.XX
DRAWN BY: AC
CHECKED BY: DK

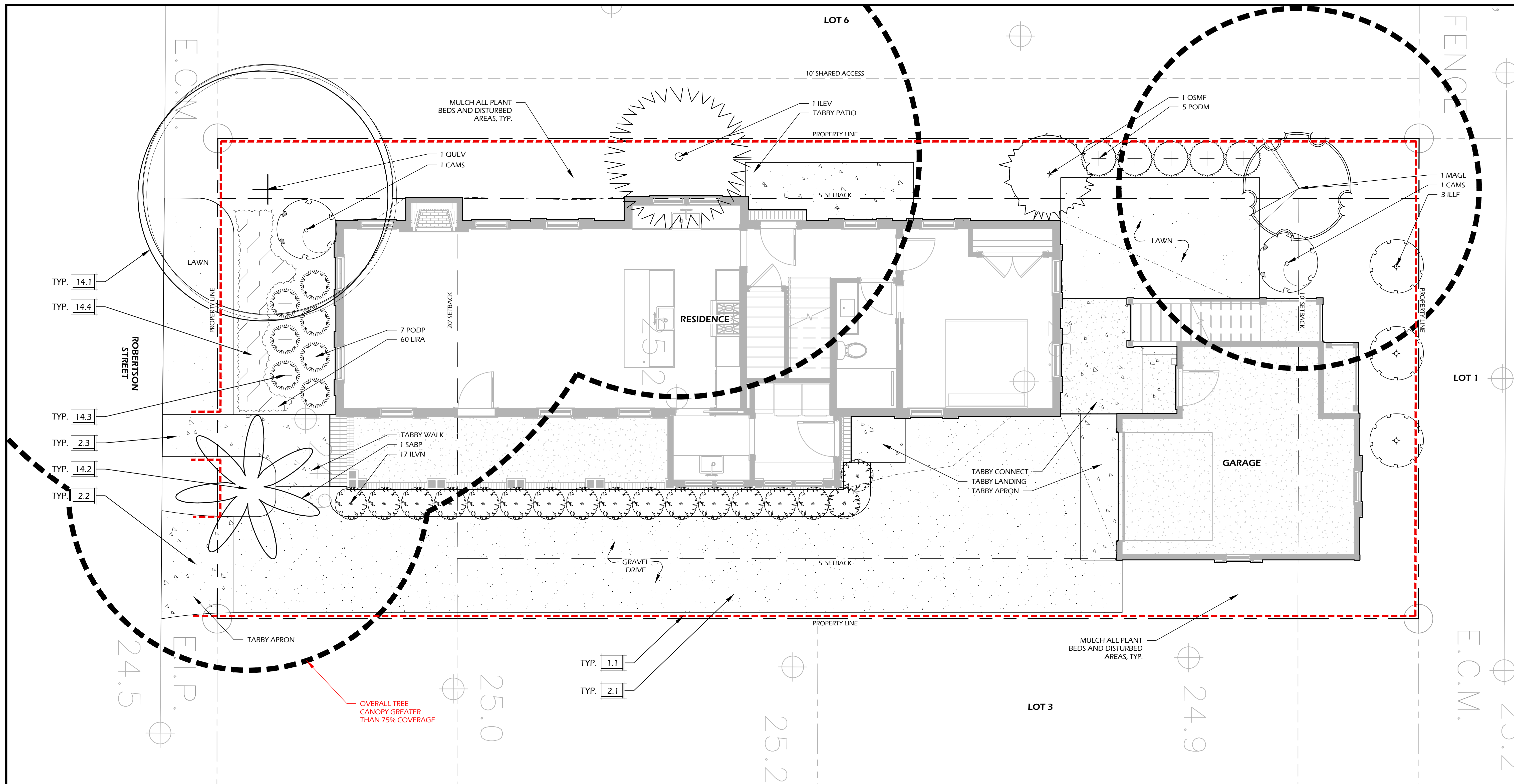
FINAL SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION

REVISIONS:

DRAWING TITLE
LANDSCAPE PLAN

DRAWING NUMBER

L1



SITE PREP. / PLANT PROTECTION LEGEND			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
1.1		SILT FENCE	1/L1

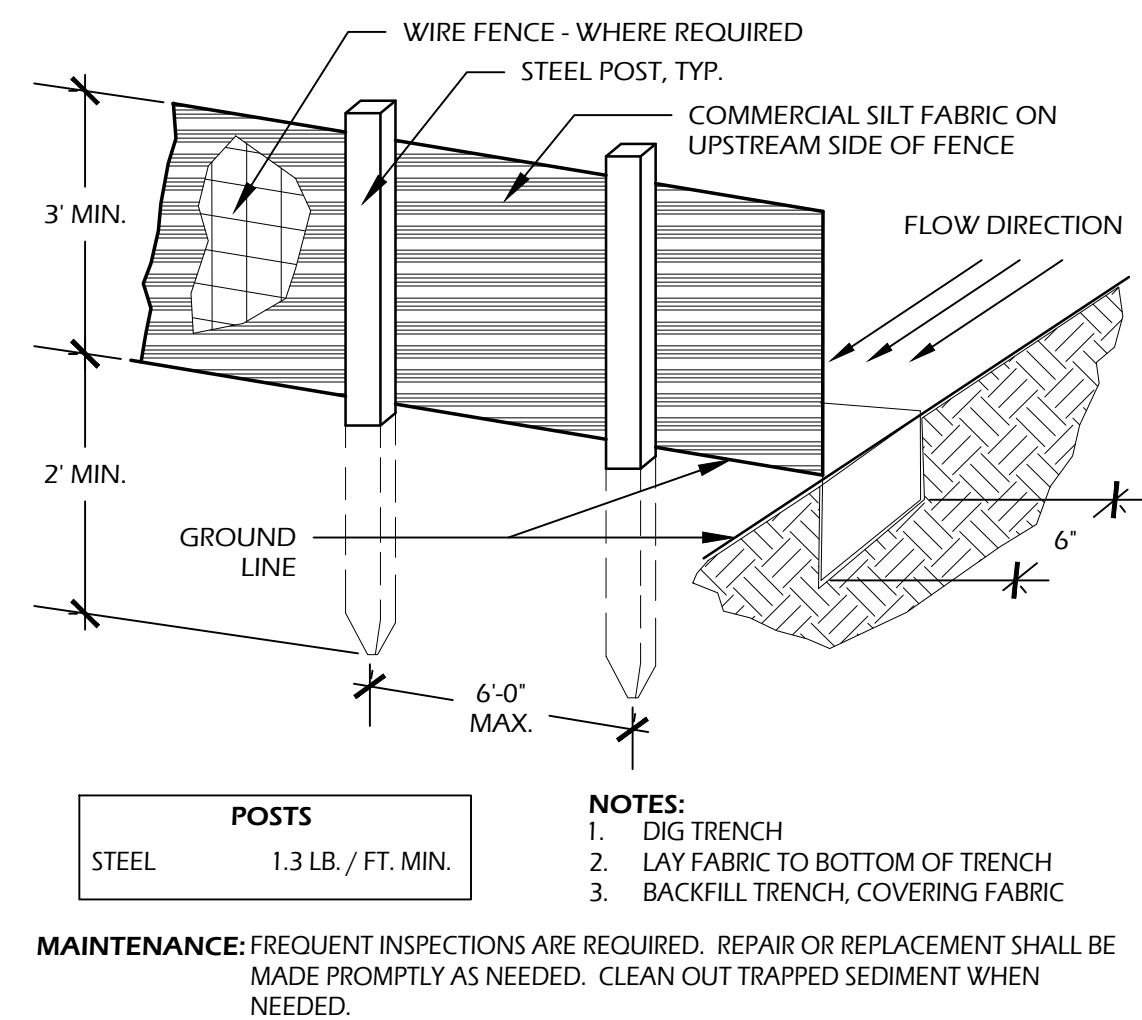
PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L2
14.2	PALM TREE PLANTING	2/L2
14.3	SHRUB PLANTING	3/L2
14.4	GROUND COVER PLANTING	4/L2

PAVING SCHEDULE			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
2.1		SPRING MIX GRAVEL DRIVE	1/L3
2.2		TABBY CONCRETE DRIVE / APRON	2/L3
2.3		TABBY CONCRETE WALK / PATIO	3/L3

NOTE: SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

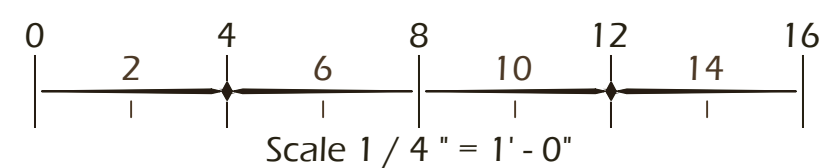
PLANT SCHEDULE

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Gal./Spacing	Notes
TREES								
1	QUEV	Quercus virginiana	Live Oak	14'-16'	6'-8'	Cont.	4"	Full
1	SABP	Sabal palmetto	Cabbage Palm	12'-16'	-	Cont.	-	Refoliated, full clear trunk, refer to plan for heights
UNDERSTORY TREES								
1	ILEV	Ilex vomitoria 'Shadows Female'	Shadows Female Yaupon Holly	5'-6'	3'-4'	15 gal.	-	Tree form, Multi-stem, Full
1	MAGL	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	8'-10'	4'-5'	30 gal.	-	Full
SHRUBS								
2	CAMS	Camellia sasanqua	Sasanqua Camellia	3'-4'	2'-3'	15 gal.	-	Full
17	ILVN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	18"-24"	18"-24"	7 gal.	-	Full
3	ILLF	Illicium floridanum	Florida Anise	30"-36"	24"-30"	7 gal.	-	Full
1	OSMF	Osmanthus fragrans	Fragrant Tea Olive	36"-42"	18"-24"	7 gal.	-	Full
5	PODM	Podocarpus macrophyllus	Podocarpus	36"-42"	24"-30"	15 gal.	-	Full
7	PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus	18"-24"	16"-20"	7 gal.	-	Full
GROUND COVERS, VINES & PERENNIALS								
60	LIRA	Liriope muscari 'Aztec Grass'	Aztec Grass	12"-16"	8"-12"	1 gal.	18" O.C.	Full
SOD & MULCH								
270	SOD-SF	-	Empire Zoysia Sod	-	-	-	-	-
800	MULCH-SF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-



MAINTENANCE: FREQUENT INSPECTIONS ARE REQUIRED. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. CLEAN OUT TRAPPED SEDIMENT WHEN NEEDED.

1 // L1 SILT FENCE
SCALE: N.T.S.





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THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
FOR

16 ROBERTSON ST.

LOT 5
BLUFFTON, SOUTH CAROLINA

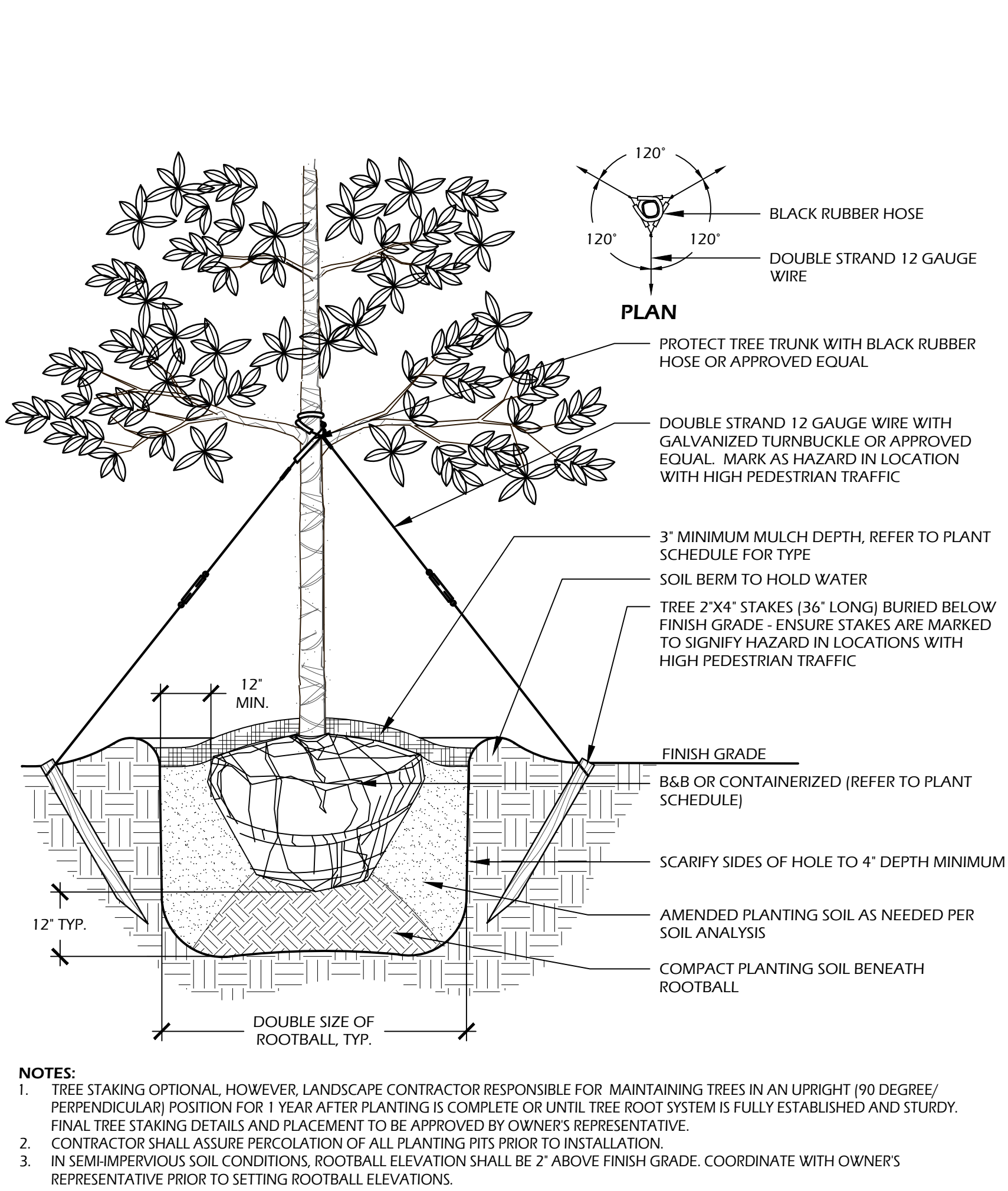
DATE:	JUN 7, 2021
PROJECT NO.:	XXXXXX
DRAWN BY:	AC
CHECKED BY:	DK

FINAL SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION

REVISIONS:

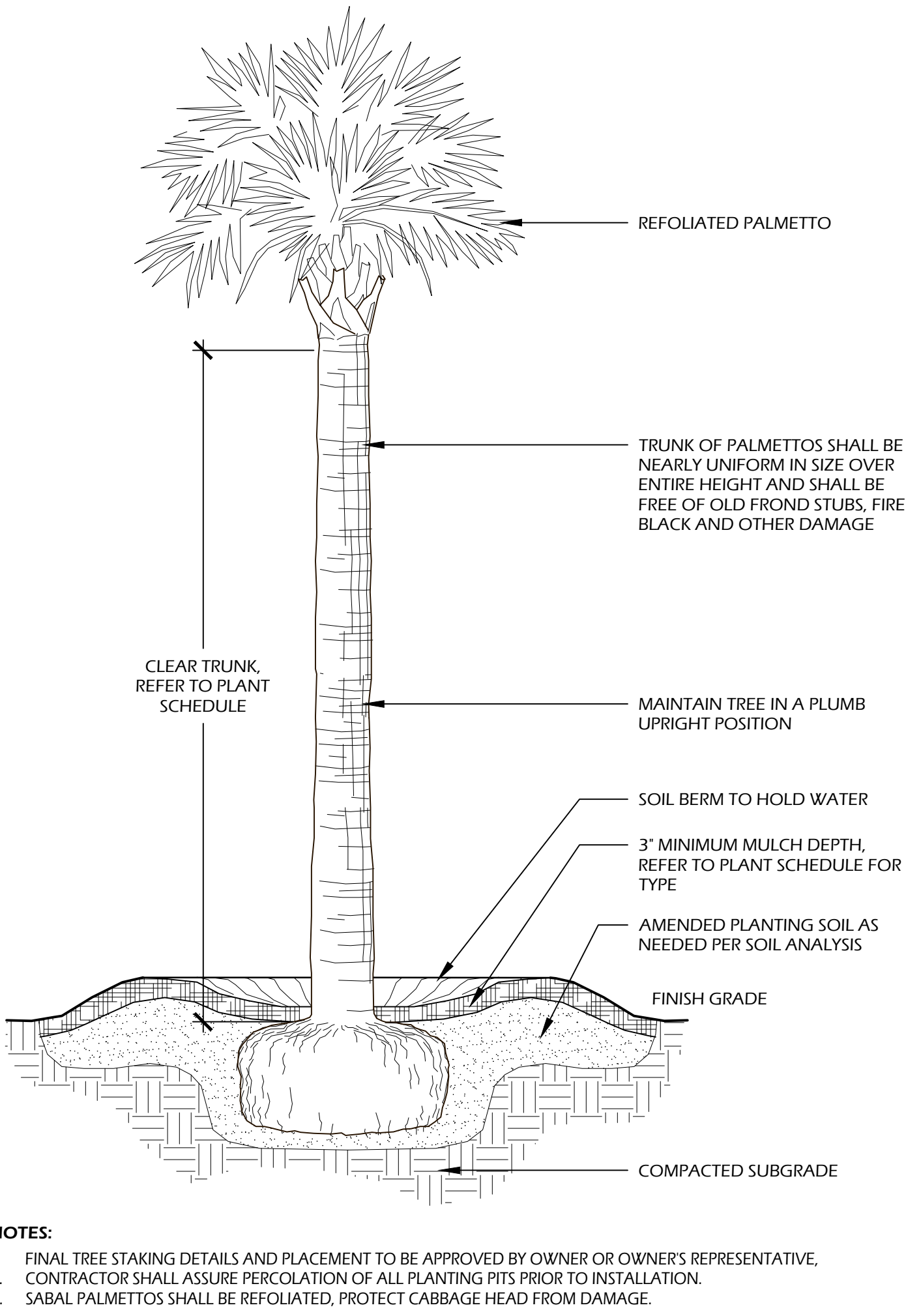
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PLANT DETAILS

DRAWING NUMBER
L2



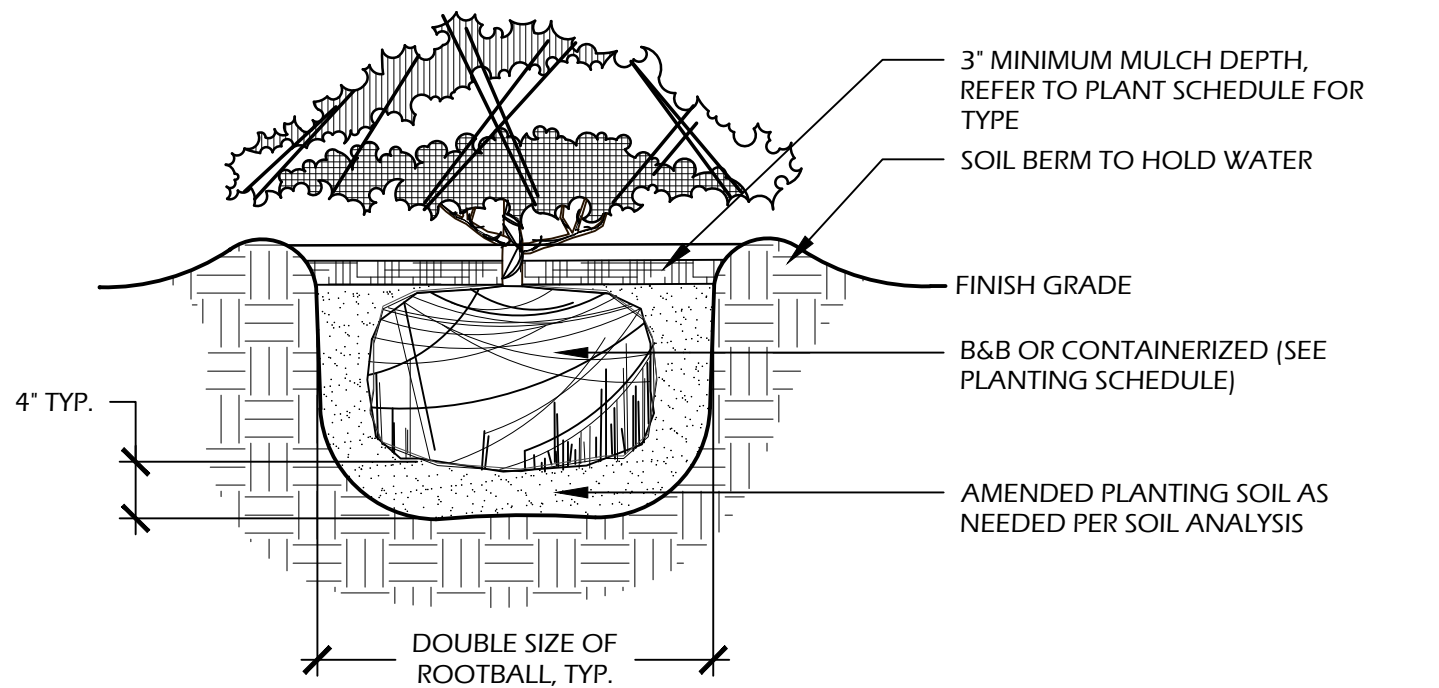
1 // L2

TREE PLANTING
SCALE: N.T.S.



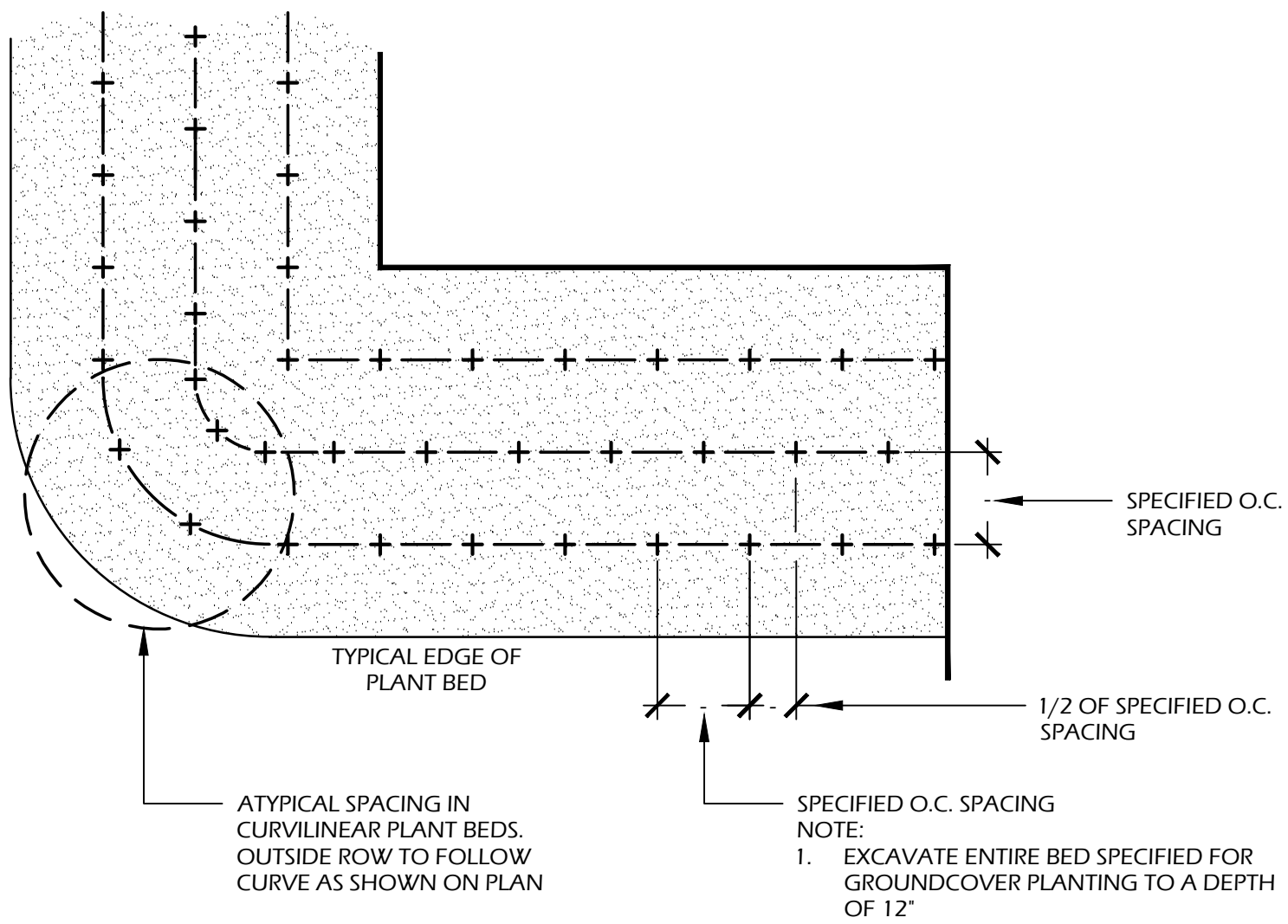
2 // L2

PALM TREE PLANTING
SCALE: N.T.S.



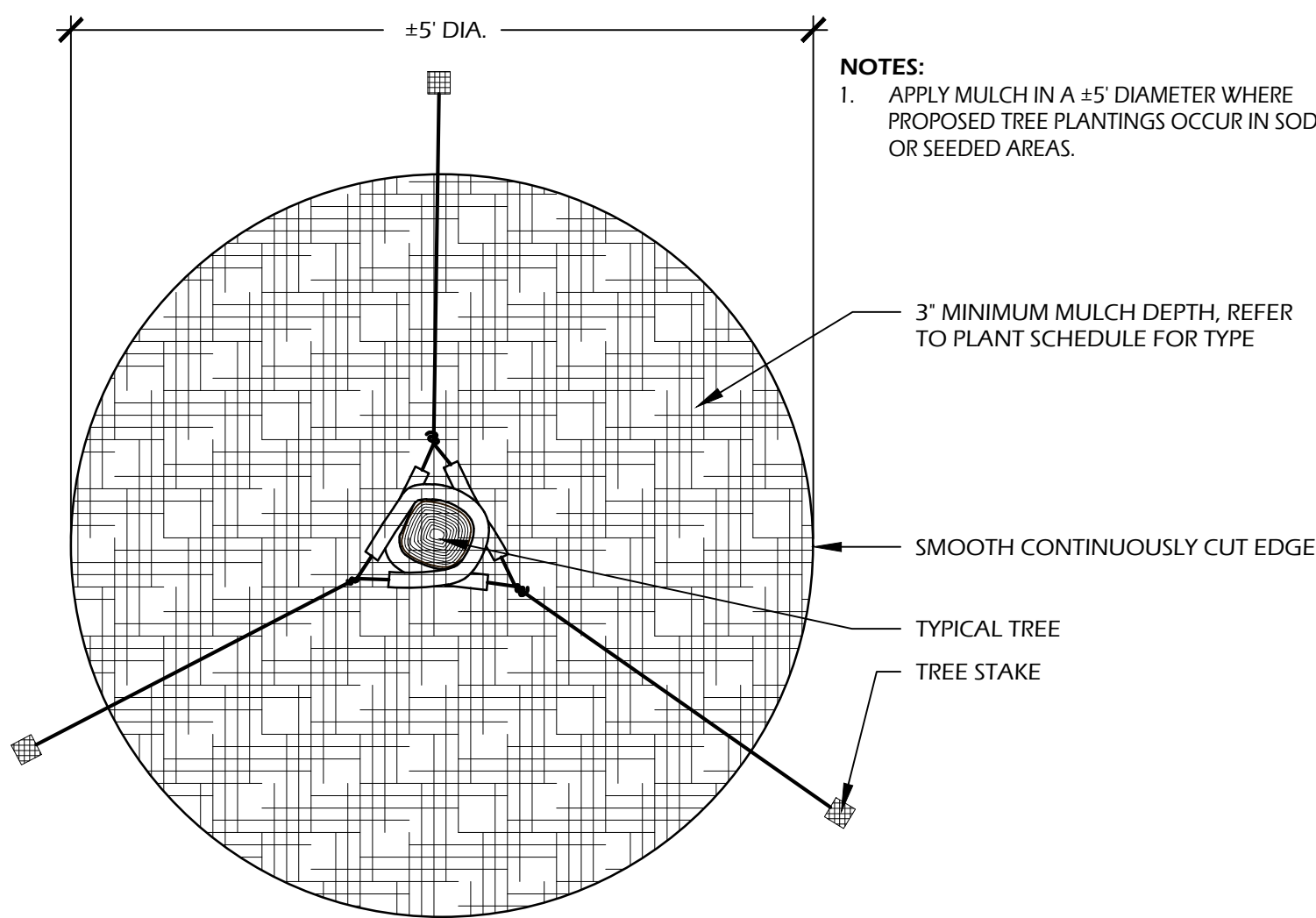
3 // L2

SHRUB PLANTING
SCALE: N.T.S.



4 // L2

GROUND COVER PLANTING
SCALE: N.T.S.



5 // L2

TREE STAKING
SCALE: N.T.S.



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THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
FOR

16 ROBERTSON ST.

LOT 5
BLUFFTON, SOUTH CAROLINA

DATE:	JUN 7, 2021
PROJECT NO.:	XXXXXX
DRAWN BY:	AC
CHECKED BY:	DK

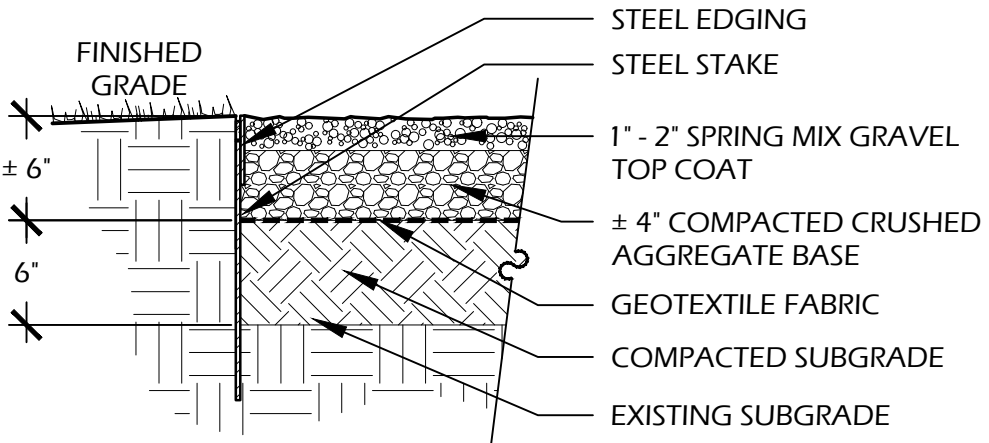
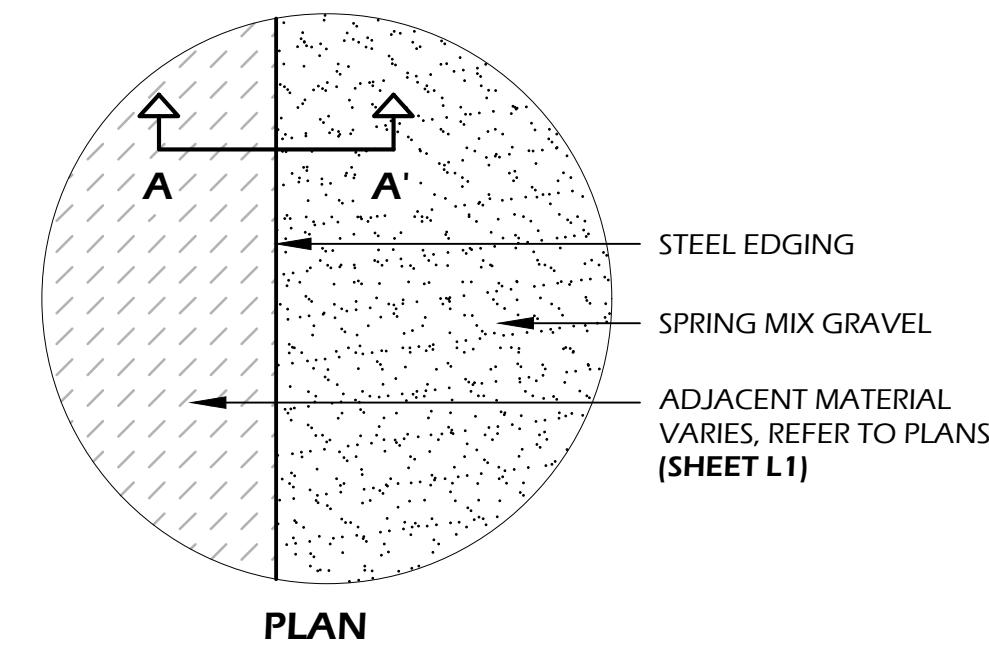
FINAL SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION

REVISIONS:

DRAWING TITLE
PAVING DETAILS

DRAWING NUMBER

L3

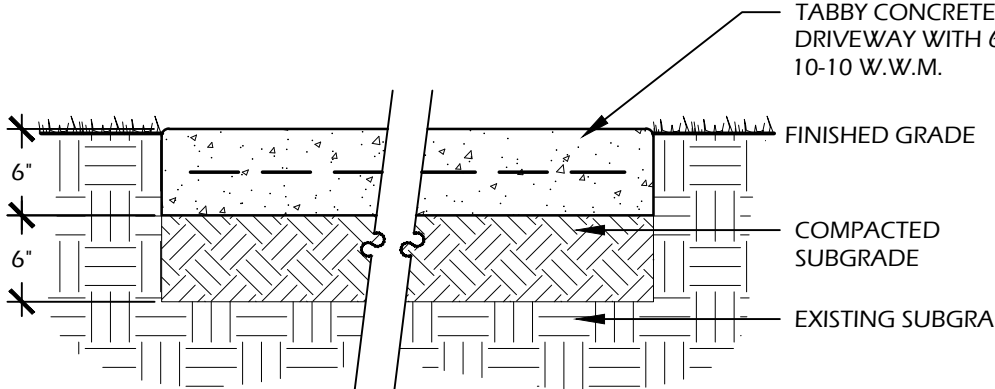
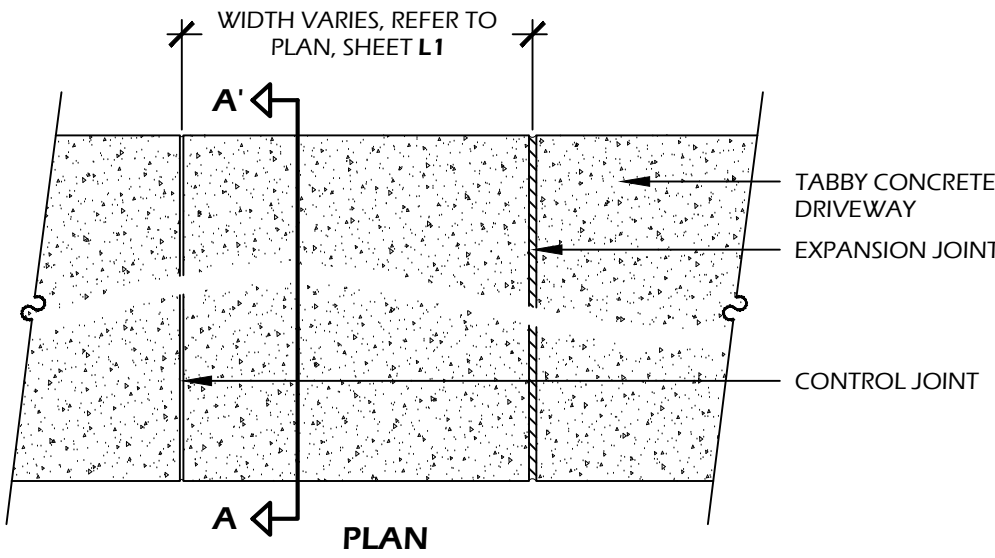


EDGING AND STAKE INFORMATION:
MANUFACTURER:
BORDER CONCEPTS, INC.
7621 LITTLE AVE., SUITE 426
CHARLOTTE, NC. 28226
PHONE: (800) 845.3343
WEB: WWW.BORDER CONCEPTS.COM

STEEL EDGE: BORDER GUARD 3/16\" X 4\" X 16\"
STAKES: STANDARD STAKE 3/16\" THICK X 15\" LONG (6 PER 16')
COLOR: BLACK

NOTE: INSTALL FLUSH PER MANUFACTURES SPECIFICATIONS

OTHER INFORMATION:
GEOTEXTILE FABRIC: TYPAR 3401 OR APPROVED EQUAL
SOIL COMPACTION: 95% STANDARD PROCTOR

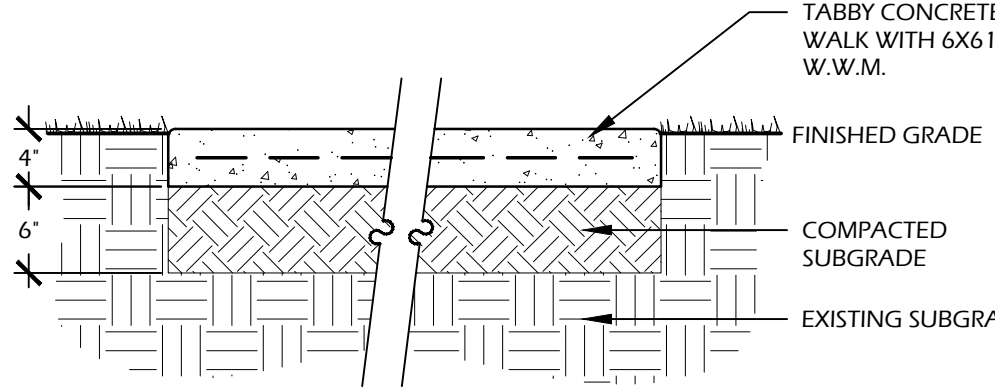
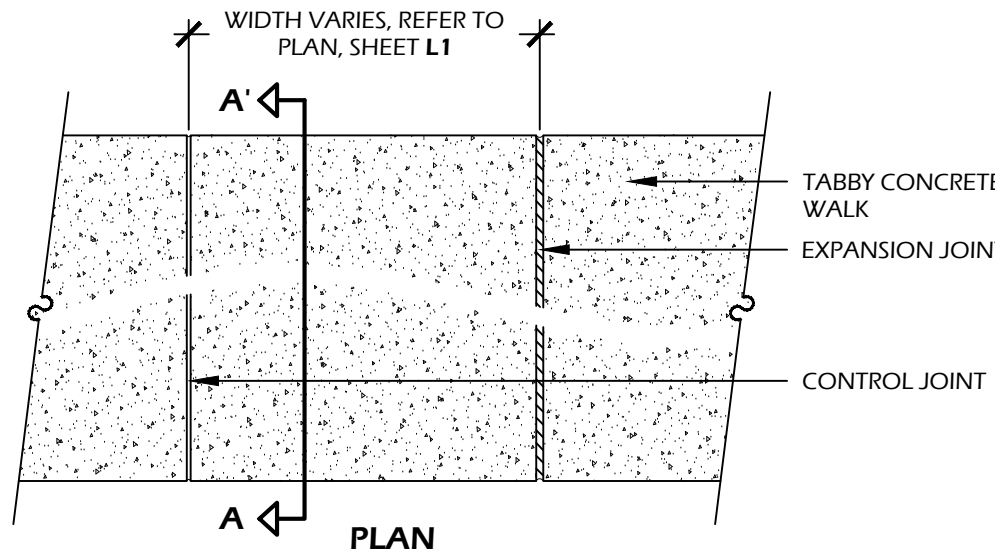


CONCRETE INFORMATION:
CONCRETE: 3,000 P.S.I. AT 28 DAYS
FINISH: TABBY SHELL

SOIL INFORMATION:
SOIL COMPACTION: 95% STANDARD PROCTOR

TABBY SPEC:
1. SHELL FINISH SHALL BE OYSTER SHELL MIX (EQUAL PARTS, SIZE #2, AND #3) HAND THROWN / SPREAD TO 100% COVERAGE ON FRESH POURED AND LEVELED CONCRETE.
2. HAND FLOAT UNTIL SHELL IS SUBMERGED, THEN AFTER 90% CURED, LIGHTLY PRESSURE WASH UNTIL SHELL IS EXPOSED.

NOTES:
1. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
2. REFER TO PLAN (SHEET L1) FOR WIDTHS OF DRIVEWAY.
3. CONSTRUCT EXPANSION JOINTS WHERE WALK MEETS CURBS, STEPS, WALLS OR FIXED SLABS.
4. UPON REQUEST, CONTRACTOR SHALL PROVIDE 4\"X4\" SAMPLE OF CONCRETE WITH 2 SIZES OF OYSTER SHELL FINISH FOR APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.



CONCRETE INFORMATION:
CONCRETE: 3,000 P.S.I. AT 28 DAYS
FINISH: TABBY SHELL

SOIL INFORMATION:
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1. SHELL FINISH SHALL BE OYSTER SHELL MIX (EQUAL PARTS, SIZE #2, AND #3) HAND THROWN / SPREAD TO 100% COVERAGE ON FRESH POURED AND LEVELED CONCRETE.
2. HAND FLOAT UNTIL SHELL IS SUBMERGED, THEN AFTER 90% CURED, LIGHTLY PRESSURE WASH UNTIL SHELL IS EXPOSED.

NOTES:
1. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
2. REFER TO PLAN (SHEET L1) FOR WIDTHS OF WALK.
3. CONSTRUCT EXPANSION JOINTS WHERE WALK MEETS CURBS, STEPS, WALLS OR FIXED SLABS.
4. UPON REQUEST, CONTRACTOR SHALL PROVIDE 4\"X4\" SAMPLE OF CONCRETE WITH 2 SIZES OF OYSTER SHELL FINISH FOR APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.

1 // L3 SPRING MIX GRAVEL DRIVE
SCALE: N.T.S.

2 // L3 TABBY CONCRETE DRIVE / APRON
SCALE: N.T.S.

3 // L3 TABBY CONCRETE WALK / PATIO
SCALE: N.T.S.



PLAN REVIEW COMMENTS FOR COFA-04-21-015184

Section IX. Item #1.

Town of Bluffton

Department of Growth Management

20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910

Telephone 843-706-4522

OLD TOWN

Plan Type:	Historic District	Apply Date:	04/06/2021
Plan Status:	Active	Plan Address:	16 Robertson St Street BLUFFTON, SC 29910
Case Manager:	Katie Peterson	Plan PIN #:	R610 039 00A 0186 0000
Plan Description:	<p>A request by Ashley Rachel Beard for review of a Certificate of Appropriateness to allow the construction of a new two-story single family residence of approximately 1,947 SF and a Carriage House of approximately 624 SF located at 16 Robertson Street, in the Old Town Bluffton Historic District and zoned Neighborhood General- HD.</p> <p>STATUS [4-6-2021]: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the April 26th meeting.</p>		

Staff Review (HD)

Submission #: 1 Recieved: 04/06/2021 Completed: 04/23/2021

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Growth Management Dept Review (HD)	04/23/2021	Katie Peterson	Approved with Conditions

Comments:

- Exposed foundation walls (below the first floor elevation) shall be; Brick done in bond patterns; Painted brick; Tabby stucco mixed shell size only); or Stucco over block or concrete (sand-finished or steel trowel only). The application notes the use of Tabby Stucco at foundation but does not specify the shell size. Additional information must be provided to confirm it will be mixed shell size. (UDO 5.15.6.G.)
- Columns may be Wood (termite resistant), painted or natural, Cast Iron, Concrete with smooth finish, Brick, Stone, Steel or Tabby. The application proposes composite columns. Column material must be revised to a permitted material. (UDO 5.15.6.H.2.a.)
- Shutters shall be constructed of a durable wood. Except in the case of a Contributing Structure, the UDO Administrator may approve of the use of Wood Composite material for shutters provided the UDO Administrator determines that the shutters will be consistent with the character of the Historic District and the materials used are of equal or better quality than traditional building materials. Additionally, it should be noted that substitute materials must be able to meet the Arm's length rule, which notes that substitute materials must be indistinguishable from the original at arm's length or less and their performance must exceed that of the original if they are to be used below the second floor. The shutters are proposed to be composite, but not enough information was provided for review. (UDO 5.15.6.M.1.e. and Traditional Construction Patterns Chapter 6)
- Gutters shall be Rectangular section, Square section or Half-round section in profile. The application indicates gutters may be used but does not specify location, material or profile. Additional information must be provided for review. (UDO 5.15.6.J.)
- A sideyard house is defined as a detached single-family residence between 1,200 SF and 2,800 SF of 2-2.5 stories positioned with the narrow side facing the street and a full-length side porch. The structure proposes a side porch approximately 40% of the depth of the structure on the first floor and approximately 60% of the depth of the structure on the second story. A determination must be made on the proposed structure meeting the requirements of a Sideyard House Building type, or it must be reviewed as an Additional Building type and meet the placement requirements of such. (UDO 5.15.8.J.)
- Should the structure be found to meet the Sideyard Building type, the rear setback is required to be 30'. The structure is currently proposed at 29' from the rear property line and must be reconfigured to meet the required rear setback. (UDO 5.15.8.J.)
- Long unarticulated masses shall be avoided. The east elevation of the garage lacks articulation. Additional articulation should be added to break up the largely blank wall. (UDO 5.15.5.F.2.d)
- For the final application provide a landscape plan noting foundation plantings, street tree locations, canopy coverage and any landscaping proposed for buffering; as well provide architectural details of the railing and baluster, a typical window detail, water table detail, corner board/pilaster trim detail, shutter and shutter dog detail, and sections through the eave and wall depicting the material configuration and dimensions. (Applications Manual)

HPRC Review	04/23/2021	Katie Peterson	Approved with Conditions
-------------	------------	----------------	--------------------------

Comments:

Note: Appreciate the thorough architecture plans, elevations, and 3D perspectives, and really clean drawing set. It is extremely easy to read.

Section IX. Item #1.

1. 16 Robertson Street is a small - 40'x100' lot, and the applicant is proposing to max out the buildable area. W footprint of the garage and house are not large – they are when compared to a 4,000 s.f. lot, and the other homes built on Robertson St. The applicant needs to ensure they can meet the canopy coverage, setbacks, street tree, and other site requirements of the UDO before proceeding. (Applications Manual and UDO Article 5)

Transportation Department Review 04/23/2021
- HD

Katie Peterson

Approved with Conditions

Comments:

1. There is a 5' (10' total across two properties) shared access easement along the western property line. There is a portion of the chimney, stairs and a patio proposed in this area which must be relocated.
2. The space between garage door and the back steps is approximately 20' 6". With the required landing, the space is reduced to approximately 17' 6". While not impossible, this proximity creates a very narrow turn radius which should be restudied to ensure it will be functional. Additionally, the space between the property line and the internal side of the driveway is just under 9' in width. This should also be restudied to ensure functionality should the neighboring property install a fence along the property line.
3. Please get in touch with the Engineering Department regarding ghost roads. (Contact will be provided at meeting).

Building Safety Review

04/07/2021

Richard Spruce

Approved with Conditions

Comments:

6 Apr 21 - RAS

1. The front entry steps are required to have a handrail on at least one side per the International Residential Code, 2018 edition, section 311.7.8.
2. The elevations show the porch at 30-inches above grade so that a guardrail is not required. Be careful with this as the requirement for the guardrail is measured 3-feet horizontally from the edge of the walking surface per IRC section 312.1.1. If there is a variation of the grade at the front porch a guardrail may still be required.
3. There shall be a landing or floor on each side of each exterior door. The width of each landing shall be not less than the door served. Landings shall have a dimension of not less than 36 inches (914 mm) measured in the direction of travel. The doors on the North and West elevations do not have a landing as required by IRC section 311.3.

Beaufort Jasper Water and Sewer Review 04/22/2021

James Clardy

Approved

Comments:

1. No Comment.

Watershed Management Review

04/20/2021

William Baugher

Approved

Comments:

1. No comment.

Addressing Review

04/08/2021

Nick Walton

Approved

Comments:

1. No comment.

Plan Review Case Notes:



HISTORIC PRESERVATION COMMISSION

STAFF REPORT

Department of Growth Management

MEETING DATE:	August 4, 2021
PROJECT:	2 Tabby Shell Road – New Construction: Single-Family Residential
APPLICANT:	Brighton Builders
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Brighton Builders, LLC, on behalf of the owners Ray and Deb Bruen, requests that the Historic Preservation Commission approve the following application:

1. **COFA-06-21-015405.** A Certificate of Appropriateness to allow the construction of a new 1.5-story single-family building of approximately 2,196 SF and a Carriage House of approximately 1,172 SF located at 2 Tabby Shell Road, Lot 3 in the Tabby Roads Development in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

INTRODUCTION: The Applicant is proposing the construction of a detached single-family residence located in the Old Town Bluffton Historic District. The proposed building, of approximately 2,196 SF, has attributes of the Vernacular House in accordance with the allowable building types for the Neighborhood General-HD zoning district. In addition to the primary structure, the Applicant is proposing a Carriage House structure of approximately 1,172 SF, which meets the design and placement standards for a Carriage House Building Type. As the property is within the Tabby Roads Development, the setback requirements are determined by the development plan, rather than the Unified Development Ordinance. Lot 3 requires a front setback of 6 feet, rear setback of 15 feet and left and right setbacks of 7.5 feet. The proposed building meets these setbacks.

The one and a half story structure is primarily under a side facing gable with two gabled dormers on the front elevation and a single larger dormer with a shed roof to the rear. The full-façade front porch is under a shed roof, while the rear, screened porch is under a gabled roof. The proposed materials include horizontal fiber cement siding and a tabby shell stucco foundation. The Carriage House features a forward gable roof with the same trim detailing and shed roofed dormers on either side. It uses the same materials as the proposed primary structure.

This project was presented to the Historic Preservation Review Committee for conceptual review at the June 28, 2021 meeting and comments were provided to the Applicant (See attachment 6).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant proposes to construct a new single-family residence and Carriage House within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The buildings have been designed to be sympathetic to the architectural character of the neighboring historic structures, so their addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

- c. *Finding.* The Old Town Master Plan initiatives promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structure and Carriage House add to the district as well as help provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Vernacular House as allowed in the Neighborhood General Historic District per Section 5.15.5.C. While it meets the design standards of a Vernacular House, the setbacks for this site are determined through the approved Development Plan, and not the Unified Development Ordinance.
 - b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
 - 1) Section 5.3.7.D. Lot Landscaping. All lots, except active recreation areas requiring open area that are part of a school or public park, shall contain sufficient landscaping, either existing or planted, to have a minimum of 75 percent lot coverage with tree canopy measured as the mature canopy, not including building rooftops. The Landscape Plan shows a canopy coverage that meets this requirement, however, three existing large canopy trees which are used towards the canopy calculations are marked for removal on the site plan. The Landscape Plan and/or Site Plan must be consistent, and the canopy coverage calculations updated to ensure compliance with the required coverage.
 - 2) Section 5.15.5.F.4. Building Composition and Traditional Construction Patterns Sections 31 and 32, Window Proportions. Overall building proportions and individual building features shall have a proportional relationship with one another. Further, windowpanes should be similarly proportioned throughout an entire building. The primary structure proposes the use of five different window sizes, each with different proportions. It also proposes three differently proportioned transoms and two doors each with different proportions. The Carriage House proposes two different proportioned window types, which are the same as two types proposed on the primary structure, but also includes two styles of door, which do not match the doors found on either door from the primary structure. The number of window and door proportions must be reduced provide a better proportional relationship between the elements.

- 3) Section 5.15.6.E.7 Dormers. Windows or vents shall occupy the majority of the dormer's surface area. The dormer on the rear elevation contains less than 40% of the surface area in windows or vents. The rear dormer must be revised for windows or vents to occupy the majority of the dormer's surface.
- 4) Section 5.15.6.N.1-6. Corners and Water Tables. Corners and water tables should follow precedent found in the local vernacular. Corner boards shall project beyond siding material, be mitered, rabbeted, or butt jointed (butt face to be on side of wall) be beaded or have 1/4 round inset trim mold. They may have pilasters with an appropriate cap detail and may have 5/4" back-banding. Quoins of any type, aluminum or vinyl corners or skirting and corner trim that is out of proportion to the vertical height of the wall are not permitted. Not enough information was provided to complete the review. Provide a corner detail. Per Section 5.15.6.N., a corner board detail must be provided for review.
- 5) Section 5.15.6.P. Cornice, Soffit and Frieze. Rough sawn wood, plywood and aluminum are not permitted materials for soffit or cornice detailing. The Typical Wall Section and Typical Porch Section both propose the use of 3/8" Plywood Soffit. The plywood soffit material in the Typical Porch and Wall Details must be revised to a permitted material.
- 6) Section 5.15.6.F.10. Service Yards. The height of the service yard enclosure shall be sufficient to screen equipment from public vantages; however, may not exceed six (6') feet in height. The proposed service yard is shown on a slab which appears to be raised approximately 6" from grade before noting the height will not exceed 6'. Revise the service yard height to be measured from grade to no taller than 6' to top rail.
- 7) Section 5.15.6.G. Building Walls. Exposed foundation walls (below the first-floor elevation) shall be brick done in bond patterns, tabby stucco (mixed shell size only), sand-finished or steel trowel finished stucco over block or concrete. The elevations show the use of mixed shell tabby stucco, but the Typical Wall Section shows the use of smooth finish stucco. Provide updated wall section showing the mixed shell tabby stucco finish for the foundation wall.
- 8) Section 5.15.6.I. Windows and Doors. Wood, Metal or Metal-Clad. The application notes the doors will be wood or metal but does not specify, and elevations do not list the material for the proposed doors. Provide a door schedule including the proposed door material.

- 9) Section 5.15.6.I. Windows and Doors. Windows may be Single or Double-Hung, Casement, Industrial, Tilt, or Fixed Frame in operation. The window identified as 4046 on the rear elevation is listed as a slider window. Revise the window to have a permitted operation.
 - 10) Section 5.15.6.J. Roofs and Gutters. Shingle Roofs may be Metal or Asphalt "dimensional" type, Slate, Composite. The application and elevations show the roof material to be architectural shingle, but do not specify the material. Provide additional information to ensure the shingle material is permitted.
 - 11) Section 5.15.6.K. Garden Walls, Fences, and Hedges. Fences, garden walls, or hedges are encouraged along Side Yards (behind the front plane of the primary structure), and Rear Yards. Fences, garden walls and hedges shall be minimum 25% opaque, and shall meet appropriate contextual standards or professional standards. They may be a minimum of 24 inches in height and a maximum of 42 inches in height if proposed in front of the primary structure, and a minimum height of 36 inches, maximum height of 6 feet if proposes in rear or side yards. They may be wood picket fences with corner posts and rail fences, wrought iron or tube steel with traditional finial connections and detailing, brick with a cap, stone, concrete masonry units with stucco or tabby stucco with texture and color to match building walls, or wood posts with "Hog wire" infill and a board rail on top. Provide a fence detail as not enough information was provided to complete the review.
3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. Town Staff finds the nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structures are appropriate for their location and the architectural detailing is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of new structures in the Old Town Bluffton Historic District. If the conditions section 2 of this report are met, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, with the revisions noted, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be incomplete. The site plan proposes a fire pit in the rear yard, however not enough information as provided to complete the review. Provide additional information, including an elevation, for the proposed firepit or remove the fire pit from the site and landscape plans.

As the property is within the Tabby Roads Development, a letter of approval from the Tabby Roads Habitat and Architectural Review Board is required.

Additionally, there are several trees 14 inches in diameter at breast height or greater, a tree removal permit is required.

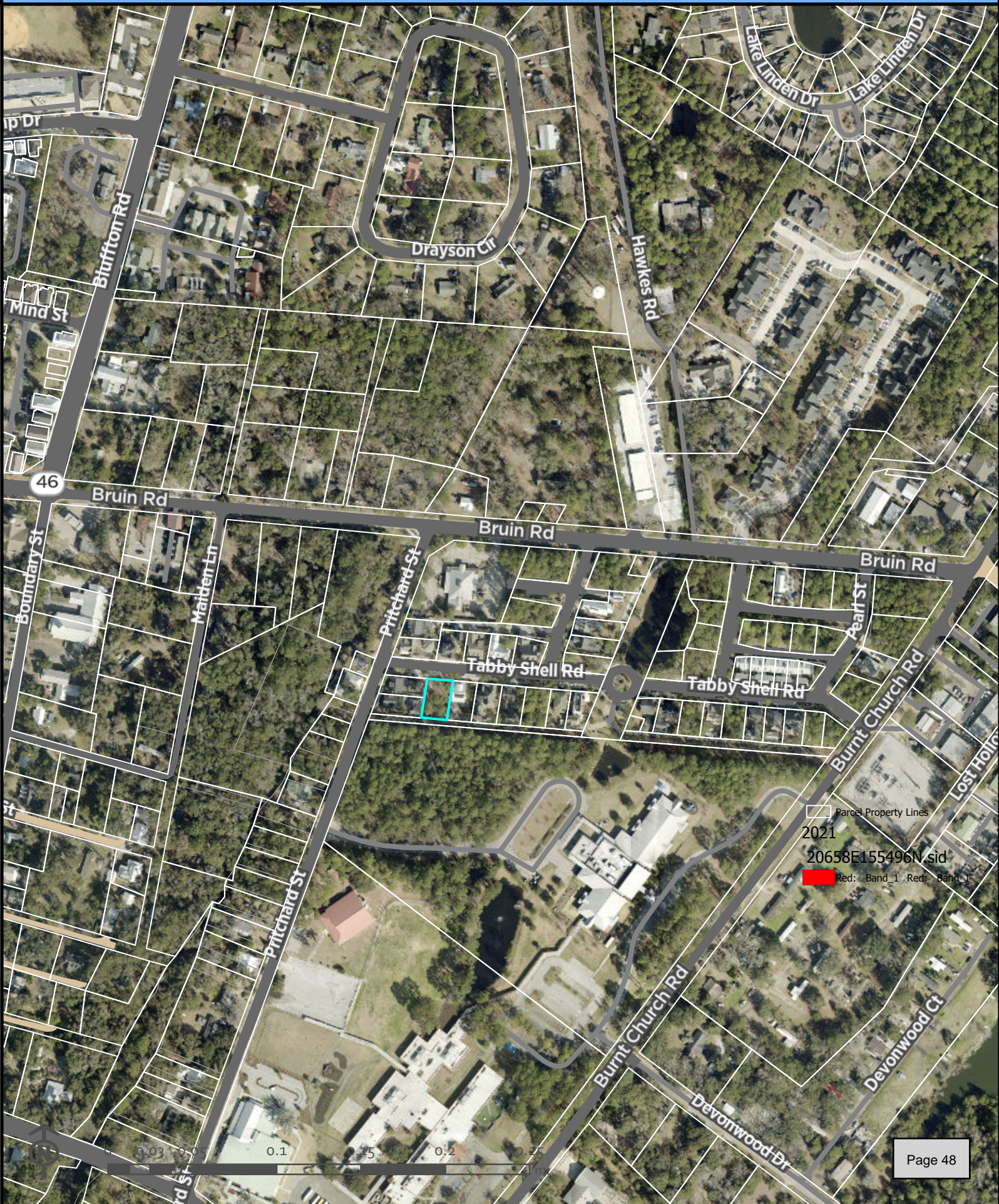
STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

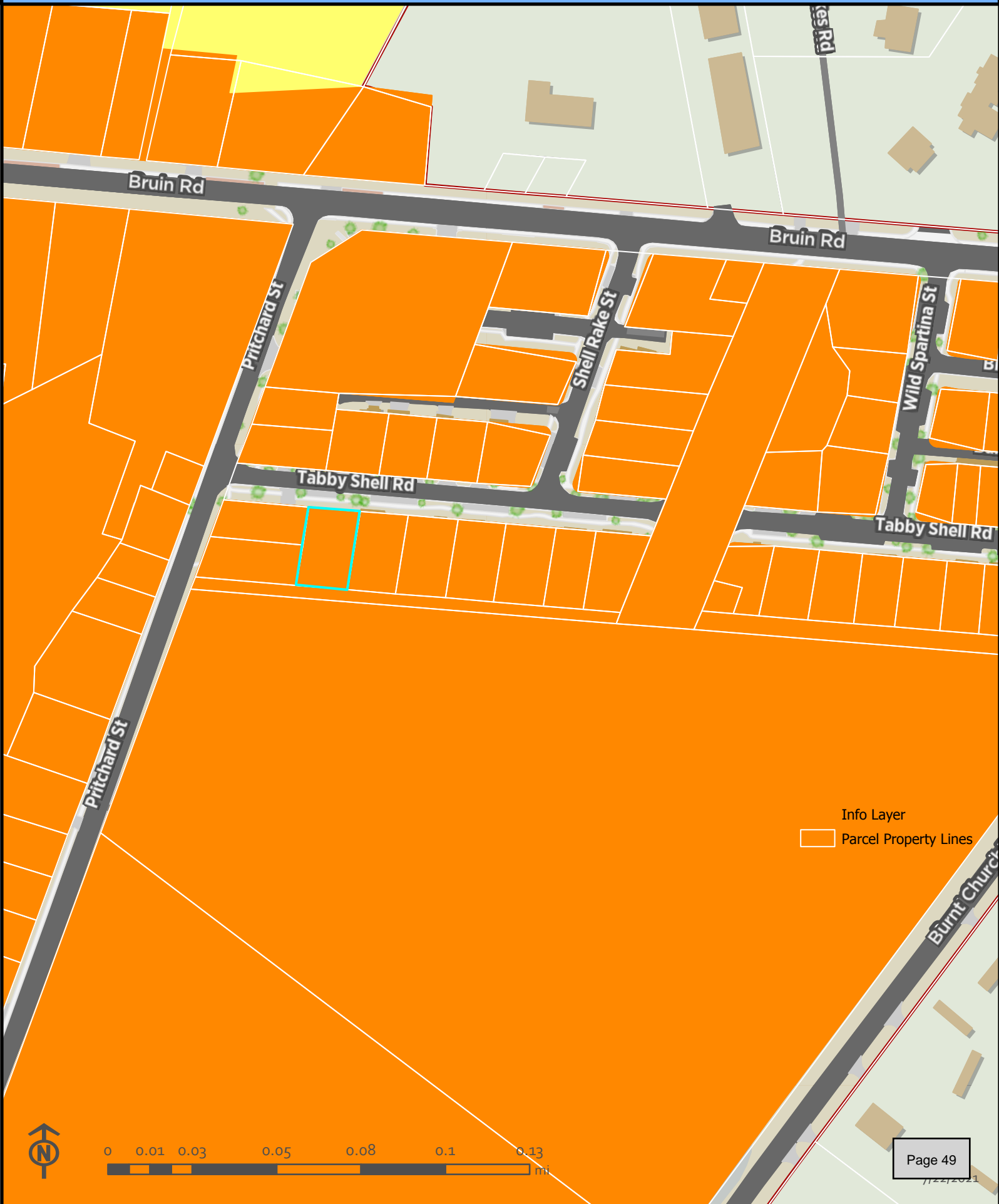
1. Per the Applications Manual, a letter of approval from the Tabby Roads HARB is required prior to approval of the Certificate of Appropriateness.
2. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.
3. Revise the Landscape Plan and/or Site Plan to be consistent with proposed tree removal.
4. Per Section 5.3.7.D., provide revised landscape plan with updated canopy coverage calculations.
5. Per Section 5.15.6.E.7., the rear dormer must be revised for windows or vents to occupy the majority of the dormer's surface.
6. Per Section 5.15.6.N., a corner board detail must be provided for review.
7. Per Section 5.15.6.P., the plywood soffit material in the Typical Porch and Wall Details must be revised to a permitted material.
8. Per Section 5.15.6.F.10., revise the service yard to be no taller than 6' in height from grade to top rail.
9. Per Section 5.15.6.G., provide updated wall section showing the mixed shell tabby stucco finish for the foundation wall.
10. Per Section 5.15.6.I., provide a door schedule including the proposed door material.
11. Per Section 5.15.6.I., revise the 4046 Slider window on the rear elevation to be Single or Double-Hung, Casement, Industrial, Tilt, or Fixed Frame in operation.
12. Per the Applications Manual, provide additional information, including an elevation, for the proposed firepit.
13. Per Section 5.15.6.J., the proposed roof material must be clarified.
14. Per Section 5.15.6.K., provide a fence detail as not enough information was provided to complete the review.

15. Per Section 5.15.5.F.4., and Traditional Construction Patterns Sections 31 and 32, number of window and door proportions must be reduced provide a better proportional relationship between the elements.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Application and Narrative
4. Site Plan & Elevations
5. Landscape Plan & Drainage Plan
6. HPRC Report





Info Layer
Parcel Property Lines

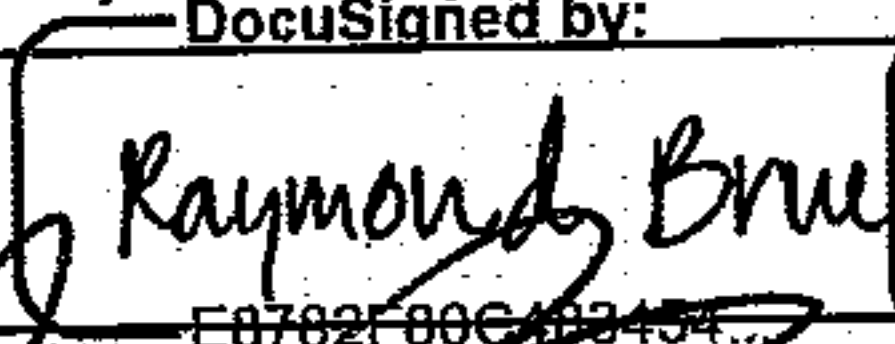
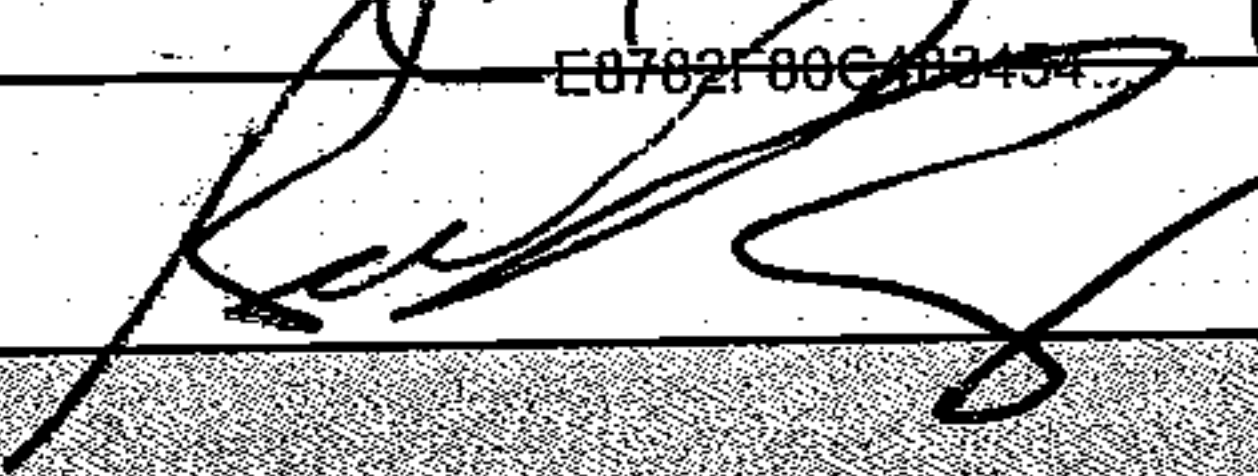


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TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4522
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Brighton Builders, LLC		Name: Ray & Deb Bruen	
Phone: 843-837-1119		Phone: 860-508-6981	
Mailing Address: PO Box 3123 Bluffton SC 29910		Mailing Address: PO Box 3364 Nantucket MA 02584	
E-mail: info@brightonbuilderssc.com		E-mail: bruen01@live.com	
Town Business License # (if applicable):			
Project Information (tax map info available at http://www.townofbluffton.us/gis/)			
Project Name: Bruen Residence		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Location: 2 Tabby Shell Rd Bluffton SC 29910		Amendment: <input type="checkbox"/>	
Zoning District: NGHD		Application for:	
Acreage: 0.1700		<input checked="" type="checkbox"/> New Construction	
Tax Map Number(s): R610 039 000 1183 0000		<input type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation or Demolition	
Project Description: Single Family House and detached garage on vacant lot			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Full sized copies and digital files of the Site Plan(s). One (1) set for Conceptual, two (2) sets for Final			
<input checked="" type="checkbox"/> 2. Full sized copies and digital files of the Architectural Plan(s). One (1) set for Conceptual, two (2) sets for Final			
<input checked="" type="checkbox"/> 3. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: 		Date: 7/9/2021	
Applicant Signature: 		Date: 7/9/21	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and Unified Development Ordinance (UDO) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness-HD Application, the Applicant is required to consult with the UDO Administrator at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness Application with the required submittal materials during an Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
Step 3. Review by UDO Administrator and HPC	Staff
If the UDO Administrator determines that the Concept Review Submission of the Certificate of Appropriateness-HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review the Review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness-HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness-HD Application, the UDO Administrator shall issue the Certificate of Appropriateness-HD.	



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE			CONCEPTUAL REVIEW <input type="checkbox"/>	FINAL REVIEW <input checked="" type="checkbox"/>
2. SITE DATA				
Identification of Proposed Building Type (as defined in Article 5): Vernacular House + Carriage House				
Building Setbacks	Front: 6'	Rear: 10'	Rt. Side: 7'	Lt. Side: 7'
3. BUILDING DATA				
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage	Proposed Square Footage	
Main Structure	Main House		2196	
Ancillary	Carriage House		476	
Ancillary				
4. SITE COVERAGE				
Impervious Coverage		Coverage (SF)		
Building Footprint(s)		2189		
Impervious Drive, Walks & Paths		0		
Open/Covered Patios		521		
A.TOTAL IMPERVIOUS COVERAGE		2710		
B.TOTAL SF OF LOT		7235		
% COVERAGE OF LOT (A/B= %)		37%		
5. BUILDING MATERIALS				
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation	
Foundation	Tabby Stucco over concrete	Columns	P.T. 8" Square Wood	
Walls	Fiber Cement 6" Lap Siding	Windows	Vinyl	
Roof	Shingle	Doors	Wood or Metal	
Chimney	n/a	Shutters	n/a	
Trim	Fiber Cement	Skirting/Underpinning	Mixed Shell Tabby Stucco	
Water table	Brick Border @ Front Porch	Cornice, Soffit, Frieze	Fiber Cement	
Corner board	Fiber Cement; 6"	Gutters	n/a	
Railings	Pressure Treated	Garage Doors	Steel Overlay	
Balusters	Pressure Treated	Green/Recycled Materials		
Handrails	Pressure Treated			



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT

APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS-HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT

APPLICATION CHECKLIST

<input type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PRELIMINARY DEVELOPMENT PLAN APPLICATION: Submit a Preliminary Development Plan Application along with all required submittal items as depicted on the application checklist.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

ALL SUBMITTALS MUST BE COLLATED AND FOLDED TO 8-1/2" X 11"

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

DocuSigned by: Raymond Bruen
 DocuSigned by: Deborah Bruen
 Signature of Property Owner or Authorized Agent

7/9/2021

Date

Raymond Bruen Deborah Bruen

Printed Name



July 9th, 2021

Project Narrative

Re: Lot 3: 2 Tabby Shell Rd. Bluffton, SC.

This is currently a vacant lot. Proposed new construction of a single-family house and carriage house.

SYMBOLS + KEYS

DOOR AND WINDOW SIZE KEY
2860 = 2'-8" WIDE x 6'-0" HIGH

DRAWING NUMBER
1 = SECTION OR ELEVATION

SHEET NUMBER
KITCHEN
10" CLG. WOOD
CEILING HEIGHT
FLOOR FINISH

1 DRAWING TITLE

14.00' = ELEVATION ABOVE SEA LEVEL

REVISION NUMBER
REVISION CLOUD
PLAN REFERENCE NORTH

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	SPEED CONTROL
	DUPLEX OUTLET
	1/2 HOT OUTLET
	WATER PROOF OUTLET
	GROUND FAULT OUTLET
	QUADPLEX OUTLET
	SPECIALTY OUTLET
	FLOOR OUTLET
	TELEPHONE JACK
	THERMOSTAT
	TELEVISION JACK
	VENT
	VENT w/ LIGHT
	SURFACE MOUNTED FIXTURE
	RECESSED FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	LED FIXTURE
	CEILING FAN
	STRIP LIGHTING
	CEILING BOX
	DOOR CHIME
	ELECTRICAL PANEL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

MATERIALS + COLORS LIST
HOUSE BODY: SW 7673 - PEWTER CAST
COLUMNS + TRIM: SW 7551 - GREEK VILLA
FRONT DOOR: BENJAMIN MOORE #214 - AURA GRAND
ENTRANCE SATIN FINISH. THE COLOR IS "VALLEY VIEW"
ARCHITECTURAL SHINGLES - CHARCOAL
GUTTERS w/ CHAIN IN WHITE



CONCEPTUAL RENDERING

DRAWING INDEX

- 0 COVER SHEET
- 5 SITE PLAN
- 1 FOUNDATION/ ROOF PLANS
- 2 FLOOR PLANS
- 3 ELEVATIONS
- 4 ELEVATIONS
- 5 WALL SECTIONS/ DETAILS
- 6 ELECTRICAL LAYOUTS
- 7 GARAGE PLANS
- 8 GARAGE ELEVATIONS
- SP1 SPECIFICATIONS
- SP2 SPECIFICATIONS
- SP3 SPECIFICATIONS

GENERAL INFO.

AREA CALCULATIONS
FIRST FLOOR HEATED = 1610 S.F. GARAGE = 576 S.F.
SECOND FLOOR HEATED = 586 S.F. HEATED LOFT = 476 S.F.
TOTAL HEATED = 2196 S.F.
UNHEATED ATTIC ABOVE 5'-0" HEAD HEIGHT = 120 S.F.
SCREENED PORCH = 255 S.F.
COVERED PORCH = 248 S.F.

RAMSEY - VARIATION 21331

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Architects, Inc. creating sustainable timeless design
1003 Charles St.
Beaufort SC, 29902
(843) 984-0559
www.allisonramseyarchitect.com

THIS PLAN HAS BEEN PROVIDED TO YOU FOR PROFESSIONAL SERVICES AND PROJECTS. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO REFORM THE FOLLOWING BEFORE BEGINNING CONSTRUCTION. ALLISON RAMSEY ARCHITECTS, INC. ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN.
-VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION
-PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.
-TRAFFIC + PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL ENGINEER OR PLUMBER.
-VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER AND/OR ARCHITECT.

DATE:	07/10/2021
JOB NO.	21331
OWN. BY:	JW
DWG. NAME:	20210710-21331.dwg

RAMSEY - VARIATION 21331

REFERENCE NOTES (REPRODUCED FROM REFERENCE PLAT):

LEGEND

B.S.L.	BUILDING SETBACK LINE
IPF	IRON PIN (OLD) FOUND
GUM	GUM
LAO	LAUREL OAK
LO	LIVE OAK
MAG	MAGNOLIA
PA	PALMETTO
PLM	PALMETTO
PN	PINE
RO	RED OAK
SL	SEWER LATERAL
SSMH	SANITARY SEWER MANHOLE
TELE. PED.	TELEPHONE PEDESTAL
WL	WATER LATERAL
WO	WATER OAK

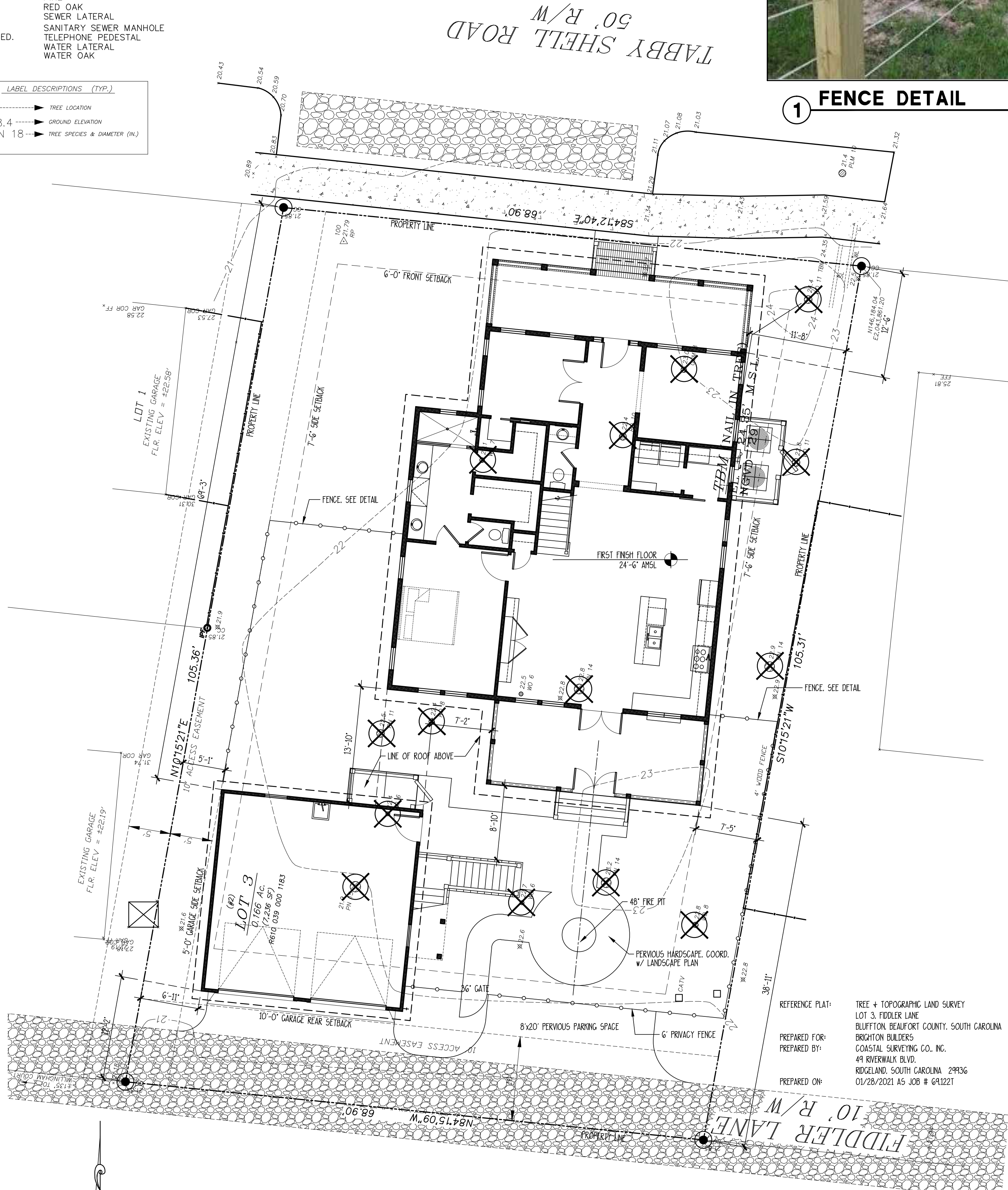
LABEL DESCRIPTIONS (TYP.)		
18.4	TREE LOCATION	
PN 18	GROUND ELEVATION	
	TREE SPECIES & DIAMETER (IN.)	



TREE REMOVAL PLAN

DENOTES TREE TO BE REMOVED

SCALE: 1/8" = 1'-0"



SITE PLAN

DENOTES TREE TO BE REMOVED

NOTE: CONTRACTOR TO VERIFY ALL PROPERTY LINES, SETBACKS, EASEMENTS, FEMA REQUIREMENTS, AND TREE SIZES AND LOCATIONS PRIOR TO CONSTRUCTION

NOTE: COORDINATE ALL WALKS, DRIVEWAY, PARKING, AND FENCES WITH LANDSCAPER

SCALE: 1/8" = 1'-0"



FENCE DETAIL

NOT TO SCALE

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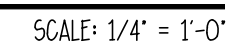
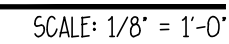
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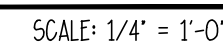
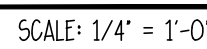
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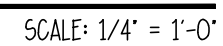
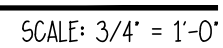
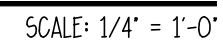
1. VERIFY MINIMUM FINISHED FLOOR ELEVATION WITH LOCAL CODES.
2. VERIFY MINIMUM FOOTING DEPTH BELOW FROST LINE WITH LOCAL BUILDING INSPECTOR.
3. VERIFY HIGH WIND RESISTANCE REQUIREMENTS WITH LOCAL BUILDING INSPECTOR.
4. FIRST FLOOR LOAD BEARING WALLS • AREA BELOW SECOND FLOOR AND STAIR CASE WALLS TO BE 2x6 STUDS • 16" O.C.
5. WINDOW MANUFACTURER TO DETERMINE AND VERIFY THAT ALL EGRESS WINDOWS ARE IN COMPLIANCE WITH LOCAL CODES.

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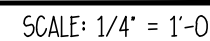
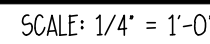
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3



DATE:	07/10/2021
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DWN. BY:	JW
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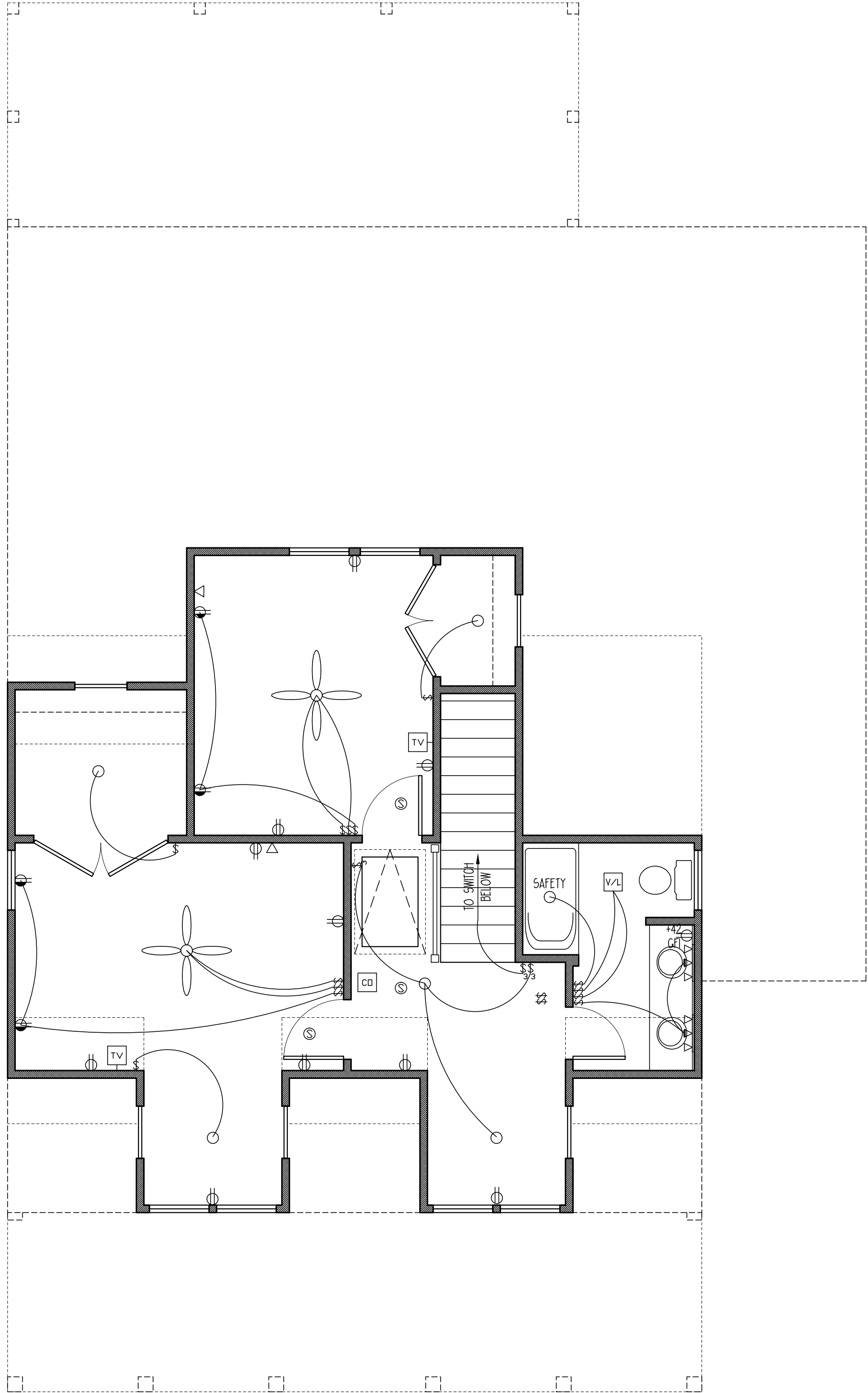
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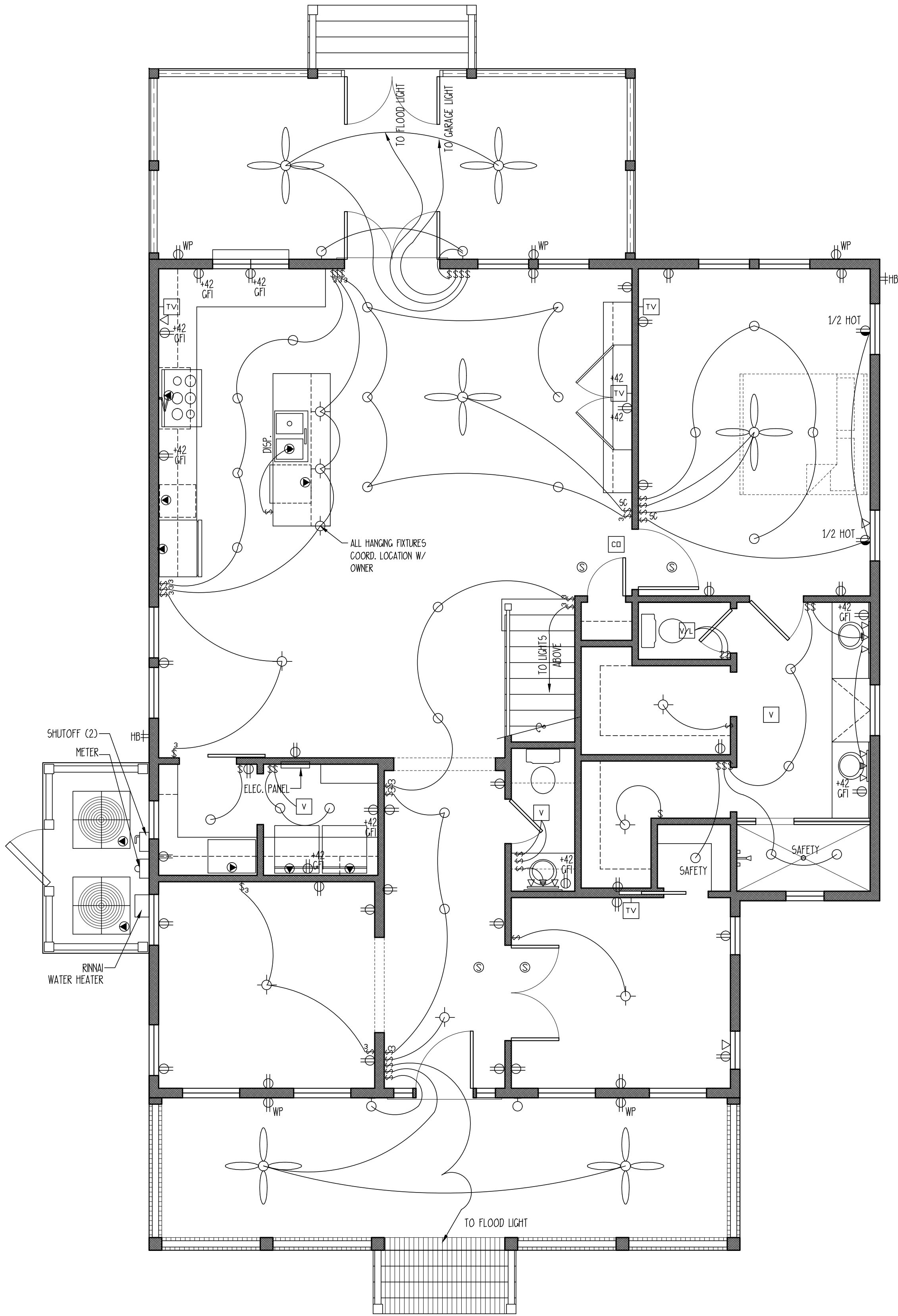


	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	SPEED CONTROL
	DUPLEX OUTLET
	1/2 HOT OUTLET
	WATER PROOF OUTLET
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	VENT
	VENT w/ LIGHT
	SURFACE MOUNTED FIXTURE
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	FLOOD LIGHT
	LED FIXTURE
	CEILING FAN
	STRIP LIGHTING
	CEILING BOX
	DOOR CHIME
	ELECTRICAL PANEL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR



SECOND FLOOR ELECTRICAL PLAN

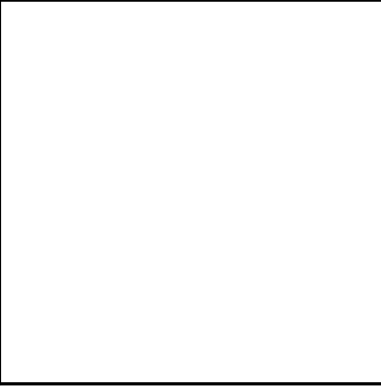
SCALE: 1/4" = 1'-0"



NOTE:
COORDINATE CENTRAL VACUUM REQUIREMENTS + LOCATION W/ OWNER.
COORDINATE SOUND SYSTEM REQUIREMENTS W/ OWNER.
COORDINATE TELECOMMUNICATIONS SYSTEM REQUIREMENTS W/ OWNER.
COORDINATE LANDSCAPE LIGHTING REQUIREMENTS AND LOCATION W/ OWNER.

SCALE: 1/4" = 1'-0"

FIRST FLOOR ELECTRICAL PLAN



RAMSEY -
VARIATION 21331

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-VERIFY ALL LOCATIONS PRIOR TO PROCEEDING WITH CONSTRUCTION
-PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.
-HARDWARE & FINISHING LOCATIONS ARE NOT INDICATED. THESE SHOULD BE OBTAINED FROM A QUALIFIED CONTRACTOR.
-THIS PLAN IS A GENERAL GUIDE ONLY. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN.
-VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER AND/OR ARCHITECT.

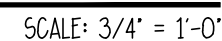
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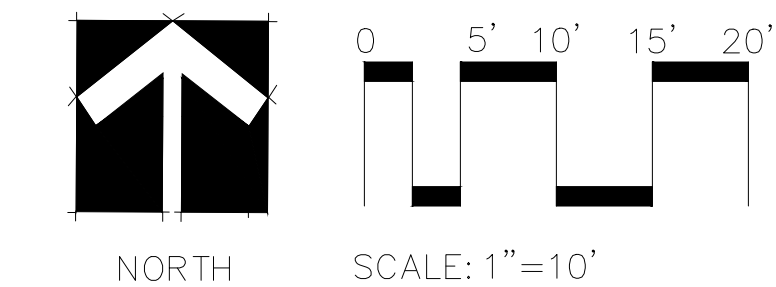
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REFERENCES:
1.3 SITE PLAN - BUILDING FOOTPRINT WITH OUTLINE OF NEW RESIDENCE DRAWN BY ALLISON RAMSEY ARCHITECTS.
2.3 BOUNDARY, TREE & TOPO SURVEY PROVIDED BY ALLISON RAMSEY ARCHITECTS, JOB NO.21331,
TITLED: SITEPLAN, DATED 04/25/2021

REFERENCE NOTES (REPRODUCED FROM REFERENCE PLAT):

LEGEND	
B.S.L.	BUILDING SETBACK LINE
FF	IRON PIN (OLD) FOUND
GUM	GUM
LAO	LAUREL OAK
LO	LIVE OAK
MAG	MAGNOLIA
PA	PALMETTO
PLM	PALMETTO
PN	PINE
RO	RED OAK
SL	SEWER LATERAL
SSMH	SANITARY SEWER MANHOLE
TELE. PED.	TELEPHONE PEDESTAL
WL	WATER LATERAL
WD	WATER OAK

LABEL DESCRIPTIONS (TYP.)	
15.4	Tree Location
15.4	Tree Species & Diameter (in)

REFERENCE PLAT: TREE & TOPOGRAPHIC LAND SURVEY
LOT 3, FIDLER LANE
BLUTION BEAUFORT COUNTY, SOUTH CAROLINA
ORIGINATION BUILDERS
COASTAL SURVEYING CO., INC.
49 RIVERWAY BLVD.
ROCKINGHAM, SOUTH CAROLINA 29395
01/28/2021 AS JOB # 61221

PLAN LEGEND	
	TREES TO BE REMOVED
	SPOT ELEVATIONS
	silt fence
	DIRECTION OF FLOW

* OVERALL TREE CANOPY
GREATER THAN 75%
COVERAGE

CYCR-2
LIRB-14
LORR-6
BUTN-2
LANT-15
PODM-2

18"X18" STEPPING
STONES W/
TABBY SHELL FINISH, TYP.
CAMS-1
HYDL-3
MUHC-10
EXISTING SM. MAGNOLIA

ILLF-3
GARJ-3
MAGG-3
JASA-75
MUHC-10

RAPI-6
JASA-75
ERIJ-1
CAMS-1
DIAT-5
VIBO-13
LORR-3
HYDQ-1
PODM-1



PERVIOUS PAVING STONES
C/W SAND BASE
COLOR: OWNERS' CHOICE

TABBY FINISH STEPPING STONES C/W
GRANITE FINE BASE AROUND
48" FIRE PIT

TABBY FINISH STEPPING STONES
VIBO-1

EXISTING PALM TREE
MYRC-2
TRAJ-1. TRAIN ON SERVICE YARD FENCE.
ILLF-6

EXISTING TREES TO
BE REMOVED, TYP.

CAMS-1
RAPI-3
CYCR-1
AZIG-3

CYCR-1
HYDL-3
DIAT-3
CYRF-14
LIRB-19
FARJ-3

VIBO-7

PLANTING SCHEDULE

TREES:					
SYMBOL	QTY	BOTANICAL NAME COMMON NAME	HEIGHT	SPREAD	ROOT
BUTC	2	BUTIA CAPITATA PINDO PALM	5'-6'	3'-4'	--
CAMS	3	CAMELLIA SASANQUA SASANQUA CAMELLIA	3'-4'	18-24"	15 GAL
ERIJ	1	ERIOBOTRYA JAPONICA LOQUAT	6'-8'	3'-4'	--
MAGG	3	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	8'-10'	4'-5'	--
MYRC	2	MYRTICA CERIFERA WAX MYRTLE	3'-4'	4'-5'	15 GAL
SABP	1	SABAL PALMETTO CABBAGE PALM	12'-16'	4'-5'	BARE ROOT

SHRUBS:					
SYMBOL	QTY	BOTANICAL NAME COMMON NAME	HEIGHT	SPREAD	ROOT
AZIG	3	AZALEA INDICA '66 GERBING' 66 GERBING AZALEA	18-24"	18-24"	3 GAL
CYCR	4	CYCAS REVOLUTA SAGO PALM	24-30"	24-30"	--
FARJ	7	FARFUGIUM JAPONICUM 'GIGANTEUM' LEOPARD PLANT	14-18"	14-18"	3 GAL
GARJ	3	GARDENIA JASMINOIDES GARDENIA	24-30"	14-18"	3 GAL
HYDL	6	HYDRANGEA PANICULATA 'LIMELIGHT' LIMELIGHT HYDRANGEA	14-18"	14-18"	3 GAL
HYDQ	1	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	14-18"	14-18"	3 GAL
ILLF	9	ILICITUM FLORIDANUM FLORIDA ANISE	30-36"	24-30"	7 GAL
LORR	9	LOROPETALUM CHINENSE EVER-RED FRINGEFLOWER	18-24"	18-24"	7 GAL
PODM	6	PODOCARPUS MACROPHYLLUS JAPANESE UPRIGHT YEW	3'-4'	18-24"	15 GAL
VIBO	21	VIBURNUM ODORATISSIMUM SWEET VIBURNUM	24-36"	24-36"	7 GAL

GROUNDCOVERS, PERENNIALS & VINES:					
SYMBOL	QTY	BOTANICAL NAME COMMON NAME	HEIGHT	SPREAD	ROOT
CYRF	17	CYRTOMIUM FALCATUM HOLLY FERN	10-12"	10-12"	1 GAL
DIAT	11	DIANELLA TASMANICA 'VARIEGATA' VARIEGATED FLAX LILY	10-12"	10-12"	1 GAL
JASA	150	JASMINUM ASIATICUM ASIATIC JASMINE	6-10"	6-8"	4" POTS
LANT	15	LANTANA GOLD LANTANA	10-12"	8-10"	1 GAL
LIRB	33	LIRIOPE MUSCART 'SUPER BLUE' SUPER BLUE LIRIOPE	10-12"	10-12"	1 GAL
MUHC	20	MUHLENBERGIA CAPILLARIS PINK MUHLY GRASS	12-14"	12-14"	1 GAL
TRAJ	1	TRACHELOSPERMUM JASMINOIDES CONFEDERATE JASMINE	--	--	3 GAL
MULCH	--	DARK HARDWOOD MULCH			2" DEPTH

GENERAL NOTES:

- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY THE OWNER.
- OWNER TO BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. OWNER OR OWNERS REPRESENTATIVE SHALL, IF NECESSARY, MAKE 'INFIELD MODIFICATIONS'.
- FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF DEBRIS. ALL AREAS TO RECEIVE LANDSCAPE PLANTING AND/OR HARDWOOD MULCH.
- CONTRACTOR IS RESPONSIBLE FOR LOCATION OF EXISTING UTILITIES AND ANY DAMAGE HE IS RESPONSIBLE FOR THAT MAY OCCUR TO EXISTING UTILITIES.
- ALL PLANTING BEDS AND EXPOSED SOIL TO BE MULCHED WITH HARDWOOD MULCH TO A 2" DEPTH.
- ALL DISTURBED AREAS INCLUDING SHALLOW SWALES SHALL BE MULCHED OR PLANTED AS INDICATED ON PLANTING PLANS.
- CONTRACTOR TO PROTECT ALL TREES & VEGETATION TO REMAIN.
- SEE ARCHITECTURAL PLANS FOR BUILDING AND DETACHED GARAGE INFORMATION.

IRRIGATION NOTES:

- CONTRACTOR TO INSTALL AN AUTOMATIC IRRIGATION SYSTEM. SYSTEM TO PROVIDE 100% COVERAGE OF ALL SOD AND PLANTING BEDS. SYSTEM TO BE INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS AND WILL ALL REGULATORY AGENCIES (I.E. PER TOWN CODES).
- ALL PLANT BEDS TO RECEIVE DRIP IRRIGATION. SPRAY HEADS FOR SOD & LOW GROUND COVER AREAS.
- ALL PLANTING BEDS TO BE MULCHED WITH HARDWOOD MULCH TO A 2" DEPTH.
- IRRIGATION SYSTEM TO HAVE RAIN SENSOR INSTALLED

LANDSCAPE DESIGN

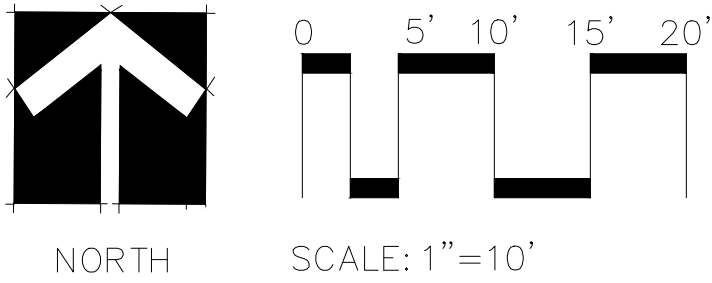
FOR
BRUEN RESIDENCE, LOT 3, #2 TABBY SHELL RD., BLUFFTON, SC
July 9, 2021

SITEWORKS DESIGN GROUP, LLC

843-441-1899



SHEET
L1 OF 2



REFERENCES:
1.) SITE PLAN - BUILDING FOOTPRINT WITH OUTLINE OF NEW RESIDENCE DRAWN BY ALLISON RAMSEY ARCHITECTS.
2.) BOUNDARY, TREE & TOPO SURVEY PROVIDED BY ALLISON RAMSEY ARCHITECTS, JOB NO.21331.
TITLED: SITEPLAN, DATED 04/20/2021

CREATE A SOFT SWALE
& EDGE BERM TO MATCH
ADJACENT PROPERTY. TO
PREVENT STORMWATER FROM
DRAINING ONTO NEIGHBORING
PROPERTY.
DIRECT WATER TO STREET.

REFERENCE NOTES (REPRODUCED FROM REFERENCE PLAT):

LEGEND	
B.S.L.	BUILDING SETBACK LINE
IPF	IRON PIN (OLD) FOUND
GUM	GUM
LAO	LAUREL OAK
LO	LIVE OAK
MAG	MAGNOLIA
PA	PALMETTO
PLM	PALMETTO
PN	PINE
RO	RED OAK
SL	SEWER LATERAL
SSMH	SANITARY SEWER MANHOLE
TELE. PED.	TELEPHONE FEDESTAL
WL	WATER LATERAL
WO	WATER OAK

LABEL DESCRIPTIONS (TYP.)	
18.4	FREE LOCATION
PN 18	FREE SPACES & DIAMETER (IN)

REFERENCE PLAT: TREE & TOPOGRAPHIC LAND SURVEY
LOT 3, FIDDLER LANE
BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA
BRIGHTON BUILDERS
COASTAL SURVEYING CO., INC.
49 RIVERSIDE BLVD.
ROSELAND, SOUTH CAROLINA 29936
01/28/2021 AS JOB # 641221

PLAN LEGEND	
X	TREES TO BE REMOVED
15'-8" AMSL	SPOT ELEVATIONS
---	silt fence
←	DIRECTION OF FLOW

CREATE A SOFT SWALE
& EDGE BERM TO MATCH
ADJACENT PROPERTY. TO
PREVENT STORMWATER FROM
DRAINING ONTO NEIGHBORING
PROPERTY.
DIRECT WATER TO LANEWAY.

GENERAL:
DIRECT STORMWATER TOWARDS
STREET OR LANEWAY. DRAINAGE SHALL
NOT BE DIRECTED TOWARDS ADJACENT
PROPERTIES. CONTRACTOR SHALL
PROVIDE SUPPLEMENTAL AREA DRAINS,
FRENCH DRAINS, AND DRY WALLS AS
REQUIRED TO PROMOTE PROPER STORM-
WATER DRAINAGE.

GENERAL:
DIRECT STORMWATER TOWARDS
STREET OR LANEWAY. DRAINAGE SHALL
NOT BE DIRECTED TOWARDS ADJACENT
PROPERTIES. CONTRACTOR SHALL
PROVIDE SUPPLEMENTAL AREA DRAINS,
FRENCH DRAINS, AND DRY WALLS AS
REQUIRED TO PROMOTE PROPER STORM-
WATER DRAINAGE.

TIE INTO EXISTING GRADE.
MEET SMOOTHLY AND EVENLY.

CREATE SOFT SWALE & EDGE
BERM TO MATCH ADJACENT PROPERTY
TO PREVENT STORMWATER FROM DRAINING
ONTO NEIGHBORING PROPERTY.

APPROX. DIRECTION OF FLOW, TYP

EXISTING TREES TO REMAIN, TYP.
DO NOT DISTURB. PROTECT IN PLACE.

TIE INTO EXISTING GRADE.
MEET SMOOTHLY AND EVENLY.

GENERAL NOTES:

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- OWNER TO BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. OWNER OR OWNERS REPRESENTATIVE SHALL IF NECESSARY, MAKE "INFIELD MODIFICATIONS".
- FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF DEBRIS. ALL AREAS TO RECEIVE LANDSCAPE PLANTING AND/OR HARDWOOD MULCH.
- CONTRACTOR IS RESPONSIBLE FOR LOCATION OF EXISTING UTILITIES AND ANY DAMAGE HE IS RESPONSIBLE FOR THAT MAY OCCUR TO EXISTING UTILITIES.
- ALL PLANTING BEDS TO BE MULCHED WITH HARDWOOD MULCH TO A 2" DEPTH.
- ALL DISTURBED AREAS INCLUDING SHALLOW SWALES SHALL BE MULCHED OR PLANTED AS INDICATED ON PLANTING PLANS.
- CONTRACTOR TO PROTECT ALL TREES & VEGETATION TO REMAIN.
- CONTRACTOR TO STAKE ALL WORK TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO LANDSCAPE CONSTRUCTION.
- SEE ARCHITECTURAL PLANS FOR BUILDING INFORMATION.

LEGEND:	
12.50	EXISTING SPOT ELEVATION
12.50	PROPOSED SPOT ELEVATION
←	DIRECTION OF FLOW
---	CENTERLINE OF SWALE
12.50	PROPOSED CONTOUR
---	EXISTING CONTOUR
TF	TOP OF FOOTING ELEVATION
FR	INLET FRAME ELEVATION
B.S.L.	BUILDING SETBACK LINE
CB	CATCH BASIN
ELEC. BOX	ELECTRIC BOX
TELE. PED	TELEPHONE PEDESTAL
WM	WATER METER
TP	TOP OF PAVING ELEVATION
TC	TOP OF CURB ELEVATION
RE	RM ELEVATION
FG	FINISH GRADE
TW	TOP OF WALL ELEVATION
TS	TOP OF STEP ELEVATION
BS	BOTTOM OF STEP ELEVATION
HP	HIGH POINT ELEVATION
CATV	CABLE TELEVISION
CMS	CONCRETE MONUMENT FOUND
IPF	IRON PIN (OLD) FOUND
IPS	IRON PIN (NEW) SET
WV	WATER VALVE

GRADING NOTES:

- THE DRAINAGE INDICATED ON THIS SITE PLAN IS DESIGNED TO MEET THE REQUIREMENTS OF THE MASTER DRAINAGE SYSTEM FOR THIS SUBDIVISION. DRAINAGE IS DIRECTED TO THE COMMON AREAS (STREET OR LANEWAY) AND AWAY FROM ADJOINING LOTS. DIRECT TOWARDS EXISTING DRAIN INLETS, SWALES, STORMWATER LAGOONS OR ROADS.
- EXISTING TOPOGRAPHIC INFORMATION PROVIDED BY BRIGHTON BUILDERS.
- GRADE SLOPE AWAY FROM HOUSE.
- SEE ARCHITECTURAL PLANS FOR BUILDING ELEVATIONS.
- CONTRACTOR TO INSTALL SILT FENCING AS NEEDED TO KEEP SEDIMENTATION ON SITE. SEE ARCHITECTURAL PLANS. SUCH DEVICES ARE TO BE MAINTAINED AS NECESSARY TO PROVIDE CONTINUOUS CONTROL OF EROSION AND SEDIMENTATION.
- CONTRACTOR SHALL INSTALL TREE PROTECTION AROUND EXISTING TREES TO REMAIN.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNERS OR OWNER REPRESENTATIVE OF ANY DISCREPANCIES.
- IF DISCREPANCIES DEVELOP BETWEEN THE PROPOSED GRADES AS SHOWN ON THE PLAN AND THE EXISTING GROUND SURFACE, THE CONTRACTOR, WITH PRIOR APPROVAL FROM THE OWNER, SHALL MAKE GRADING ADJUSTMENTS NECESSARY TO MAINTAIN THE GENERAL INTENT OF THE DESIGN.
- THE CONTRACTOR AND LANDSCAPE CONTRACTOR SHALL PROTECT ALL TREES, VEGETATION AND REFERENCE POINTS AS INDICATED ON THE ARCHITECTURAL DRAWINGS.
- ALL PAVED AREAS SHALL BE STAKED IN THE FIELD AND APPROVED BY OWNER PRIOR TO INSTALLATION.
- ALL WALKS SHALL HAVE A CROSS SLOPE OF 2%. INSTALL WALKS AND DRIVEWAY TO ALLOW FLOW CONSISTENT WITH DRAINAGE PLAN.
- ALL WALKS SHALL NOT EXCEED 5% UNLESS OTHERWISE SHOWN.
- CONTRACTOR/LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PAVED AREAS AND OTHER AREAS DAMAGED DURING CONSTRUCTION.
- WHEN TRENCHING FOR DRAIN PIPE, CUT ANY ROOTS GREATER THAN 3" THICK WITH CLEAN, SHARP AXE/SAW. DO NOT TEAR ROOTS WITH HEAVY EQUIPMENT.

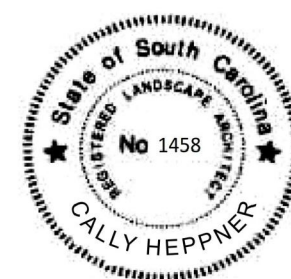
GRADING & DRAINAGE PLAN

FOR
BRUEN RESIDENCE, LOT 3, #2 TABBY SHELL RD., BLUFFTON, SC

July 9, 2021

SITEWORKS DESIGN GROUP, LLC

843-441-1899



SHEET
L2 OF 2



PLAN REVIEW COMMENTS FOR COFA-06-21-015405

ATTACHMENT

Section IX. Item #2.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type:	Historic District	Apply Date:	06/01/2021
Plan Status:	Active	Plan Address:	2 Tabby Shell Rd Road BLUFFTON, SC 29910
Case Manager:	Katie Peterson	Plan PIN #:	R610 039 000 1183 0000
Plan Description:	<p>A request by Jeremiah Smith of Allison Ramsey Architects, on behalf of the owners, Ray and Deb Bruen, for review of a Certificate of Appropriateness to allow the construction of a new two-story single-family residence of approximately 2,656 and a Carriage House of approximately 1,052 SF located at 2 Tabby Shell Road, identified as Lot 3 in the Tabby Roads Development in the Old Town Bluffton Historic District and zoned Neighborhood General - HD.</p> <p>STATUS [6/1/2021]: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the June 28, 2021 meeting.</p>		

Staff Review (HD)

Submission #: 1 Received: 06/22/2021 Completed: 06/24/2021

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Growth Management Dept Review (HD)	06/24/2021	Katie Peterson	Approved with Conditions

Comments:

2 Tabby Shell Road, Lot 3 Tabby Roads Development

1. It appears the Carriage House Structure may encroach into the 10' access easement shown on the site plan.
2. A space under a sloping roof that has the line of intersection of the roof and the exterior wall supporting the roof feet above the floor level, and in which space the possible floor area with a headroom of 5 feet or more occupies between 30 and 70 percent of the total floor area of the story directly beneath, then that space shall be considered a full story. There are several locations which show attic access on the second floor. Provide more information on the possible area with headroom of 5 feet or more in these spaces. (UDO Section 5.15.5.F.1.e.)
3. Exposed foundation walls shall be; Brick done in bond patterns that match historic patterns in the district; Painted brick; Tabby stucco (mixed shell size only); or Stucco over block or concrete (sand-finished or steel trowel only). The proposed exposed foundation wall is does not specify mixed shell size. Revise finish material to be a material permitted by the UDO. (Section 5.15.6.G.1.a.)
4. Provide additional information to clarify the type of door proposed (wood, metal or metal clad are permitted). (UDO Section 5.15.6.I.)
5. Overall building proportions and individual building features shall have a proportional relationship with one another. Further, window panes should be similarly proportioned throughout an entire building. The primary structure proposes the use of 8 different window types, and the Carriage House proposes the use of 3. Only one of these overlaps from the house to the Carriage House. Restudy the window placement to reduce the number of window sizes and pane proportions proposed on the structures. (UDO Section 5.15.5.F.4 and Traditional Construction Patterns Section 32)
6. Carriage House structures must be of the same general character as the primary structure. The proposed Carriage House proposes different window and door proportions, the use of bracket detailing, and square columns (house has round on front and chamfered square on the rear). Revise Carriage House detailing to have a better relationship with the primary structure. (UDO Section 5.15.8.F. and 5.15.5.F.4.b.)
7. Porches are required to have a minimum height of 30 inches minimum from the adjacent grade to the top of stairs. The proposed height to top of stairs is marked as a Maximum of 2' 5" or 29" from finished grade. The height of the porch must be increased to meet this requirement. (UDO Section 5.15.6.E.5.c.)
8. The first floor finish height must be 3 feet above the average adjacent sidewalk grade. It appears that the first finished floor is approximately 4" above the porch height, making it 33" from finished grade. Provide elevation of adjacent sidewalk grade to confirm that the finished floor is 36" above grade. (UDO Section 5.15.5.F.1.c.)
9. A Town of Bluffton Tree Removal Permit is required for any tree 14" (DBH) or greater located on a single family lot and proposed for removal (UDO Section 3.22.2.A.).
10. As the project moves toward Final submittal, provide architectural details for the typical window, shingle material, railing detail, water table trim, corner board, a section through the eave, and a landscape plan showing details for the proposed fire pit area and fence as not enough information was provided in the submittal to review for conformance with the UDO. Note that the landscape plan should include 8' of foundation plantings along the front of the primary structure, street trees every 50' of development, and show the canopy coverage for the site. (Applications Manual)
11. As the project moves toward Final submittal, a letter of approval from the Tabby Roads HARB is required. (Applications Manual)
12. Note: A landing may be required at the screen porch to be in compliance with Building Safety.

Watershed Management Review	06/22/2021	William Baugher	Approved with Conditions
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Comments:

1. Approved with the condition that at the time the Building Permit application is submitted, a Stormwater Permit application is also submitted.

Addressing Review	06/24/2021	Nick Walton	Approved
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Comments:

1. 2 Tabby Shell Road.

Beaufort Jasper Water and Sewer Review	06/24/2021	James Clardy	Approved
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Comments:

1. No comments.

HPRC Review	06/24/2021	Katie Peterson	Approved
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Comments:

1. No comments provided by reviewers.

Transportation Department Review - HD	06/24/2021	William Howard	Approved
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Comments:

1. No comment provided by reviewer.

Plan Review Case Notes:



HISTORIC PRESERVATION COMMISSION

STAFF REPORT Department of Growth Management

MEETING DATE:	August 4, 2021
PROJECT:	30 Meriwether Court, Lot 4 – New Construction: Single-Family Residential
APPLICANT:	BFL Builders
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, BFL Builders, requests that the Historic Preservation Commission approve the following application:

1. **COFA-06-21-015416.** A Certificate of Appropriateness to allow the construction of a new 1.5-story single-family building of approximately 2,113 SF and a Carriage House of approximately 704 SF located at 30 Meriwether Court, identified as Lot 4 in the Landen Oaks Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

INTRODUCTION: The Applicant is proposing the construction of a detached single-family residence located in the Old Town Bluffton Historic District. The proposed building, of approximately 2,113 SF, has similar attributes of the Village House, but is 1.5-stories in height, so it is reviewed as an Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. In addition to the primary structure, the Applicant is proposing a Carriage House structure of approximately 704 SF, which meets the design standards for a Carriage House Building Type.

The one and a half story structure is primarily under a forward facing gable. It has a small gabled bump-out on the right side, and the area at the rear of the house, which is not under the second story, is under a hipped roof. It has a just under full façade front porch with a hip roof. The proposed materials include horizontal Hardie siding with vertical V-Joint tongue and groove in the gable ends. It has a combination of shingle and metal roofing, uses traditional water table and corner board details. The Carriage House features a gable roof of the same pitch as the primary structure, the same siding patterns, and trim detailing.

This project was presented to the Historic Preservation Review Committee for conceptual review at the June 28, 2021 meeting and comments were provided to the Applicant (See attachment 6).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant proposes to construct a new single-family residence and Carriage House within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The buildings have been designed to be sympathetic to the architectural character of the neighboring historic structures, so their addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structure and Carriage House add to the district as well as help provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building Type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final determination regarding the appropriateness of the Additional Building Type.
 - b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
 - 1) Section 5.15.5.C. and Section 5.15.5.F.6. Neighborhood General-Historic District and General Standards. The Applicant has proposed placing the building approximately 27' from the front property line. The UDO requires a front built-to zone of 10'-20' for an Additional Building Type. The UDO permits exceptions to the build-to lines where existing significant natural features are present, to preserve protected trees and to preserve the integrity of the neighboring historic resources. The Applicant is requesting the exception to allow for the retention of several significant trees located near the front of the lot. As such the HPC must determine if this is an appropriate purpose to grant an exception to the requirement.
 - 2) Section 5.3.7.D. Lot Landscaping. All lots, except active recreation areas requiring open area that are part of a school or public park, shall contain sufficient landscaping, either existing or planted, to have a minimum of 75 percent lot coverage with tree canopy measured as the mature canopy, not including building rooftops. The Landscape Plan shows the retention of several trees at the front of the lot, but no trees on the side or rear of the lot. Provide a revised Landscape Plan which shows the canopy coverage calculations to ensure compliance with this requirement.
 - 3) Section 5.15.5.F.4. Building Composition (Proportion, Alignment, Rhythm, and Spacing). Overall building proportions and individual features shall have a proportional relationship with one another. Further, Traditional Construction Patterns Section 31 states that windowpanes should be similarly proportioned

throughout an entire building. The primary structure proposes the use of four different window sizes, each with different proportions. The Carriage House proposes five, none of which overlap with those proposed on the primary structure. The number of window and door proportions must be reduced to the fewest number reasonable to provide a better proportional relationship between the elements.

- 4) Section 5.15.6.F.10. Service Yards. The height of the service yard enclosure shall be sufficient to screen equipment from public vantages; however, may not exceed six (6') feet in height. The Site Plan shows the proposed location of the service yard, but it is not shown on the elevations. Provide a service yard detail depicting the materials and dimensions of the proposed service yard area.
- 5) Section 5.15.6.H.2. Columns, Arches, Piers, Railings, Balustrades. Railings and balusters shall be wood (termite resistant), painted or natural wrought or cast iron. Top Rail: 2-3/4". Minimum diameter; Balusters: 4" o.c. spacing minimum, 5" o.c. spacing maximum. The porch detail shows the guard railings surrounding the porch but does not include information on the handrail or the stairs on the Carriage House. Provide a railing and detail, which includes a handrail extending from the top nose to the bottom nose of the stair.
- 6) Section 5.15.6.H.1.a. Columns. Columns shall be spaced no further apart than they are tall. The columns on the front porch are approximately 8' 8" apart and 7' 8" feet tall. An additional column must be added, or the columns reconfigured to be spaced no farther apart than they are tall in this location. In order to further change this structure from the neighboring structure, Town Staff recommends the addition of an additional column at each to have double columns, or requesting the HPC allow a deviation from this standard.
- 7) Section 5.15.6.I. Windows and Doors. Snap in muntins or mullions, and muntins between the glass are not recommended. Windows with true divided lite or simulated divided lite are encouraged. Muntins are shown in the windows, but not enough information was provided for review. Provide a typical window detail.
- 8) Section 5.15.6.N. Corners and Water Tables. Water Table trim shall include drip boards with a minimum 5/4 stock with a bevel (any exposed flashing must be copper or match color of water table) and beyond any skirt trim. Skirt boards shall be a minimum 5/4 stock and be furred out to sit just beyond the face of the foundation wall (after finish foundation material is applied,

i.e. brick, stucco). The Lap Siding Detail (A5.0) shows the 8" minimum foundation reveals with no water table or baseboard and no use of a water table trim. The elevations for the Carriage House show this detail; however, the primary structure, which is required to be raised 30" at the porch, 3' at finished floor, shows a water table. Provide a water table detail for review.

- 9) Section 5.15.6.P. Cornice, Soffit and Frieze. Rough sawn wood, plywood and aluminum are not permitted materials for soffit or cornice detailing. The elevations show the use of T-111, a plywood material, in the soffit. The soffit material must be revised to a permitted material.

3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. The Old Town Bluffton Historic District embodies a diverse community character. Structures range from stately homes, unique shops, historic structures nestled among new construction infill. The proposed building plans for 30 and 35 Meriwether Court have made changes to the designs including siding and roof material, porch configuration, and window patterns on the front elevations. While these changes go a long way to provide differentiate to the structures, Staff recommends the Applicant consider additional changes which could include excluding the tongue in groove in the eave of one structure, changing the spindle pattern on the porch of one of the structures, and/or foundation detailing to be more representative of the architectural diversity of Old Town Bluffton Historic District.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of new structures in the Old Town Bluffton Historic District. If the conditions section 2 of this report are met, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, with the revisions noted, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete.

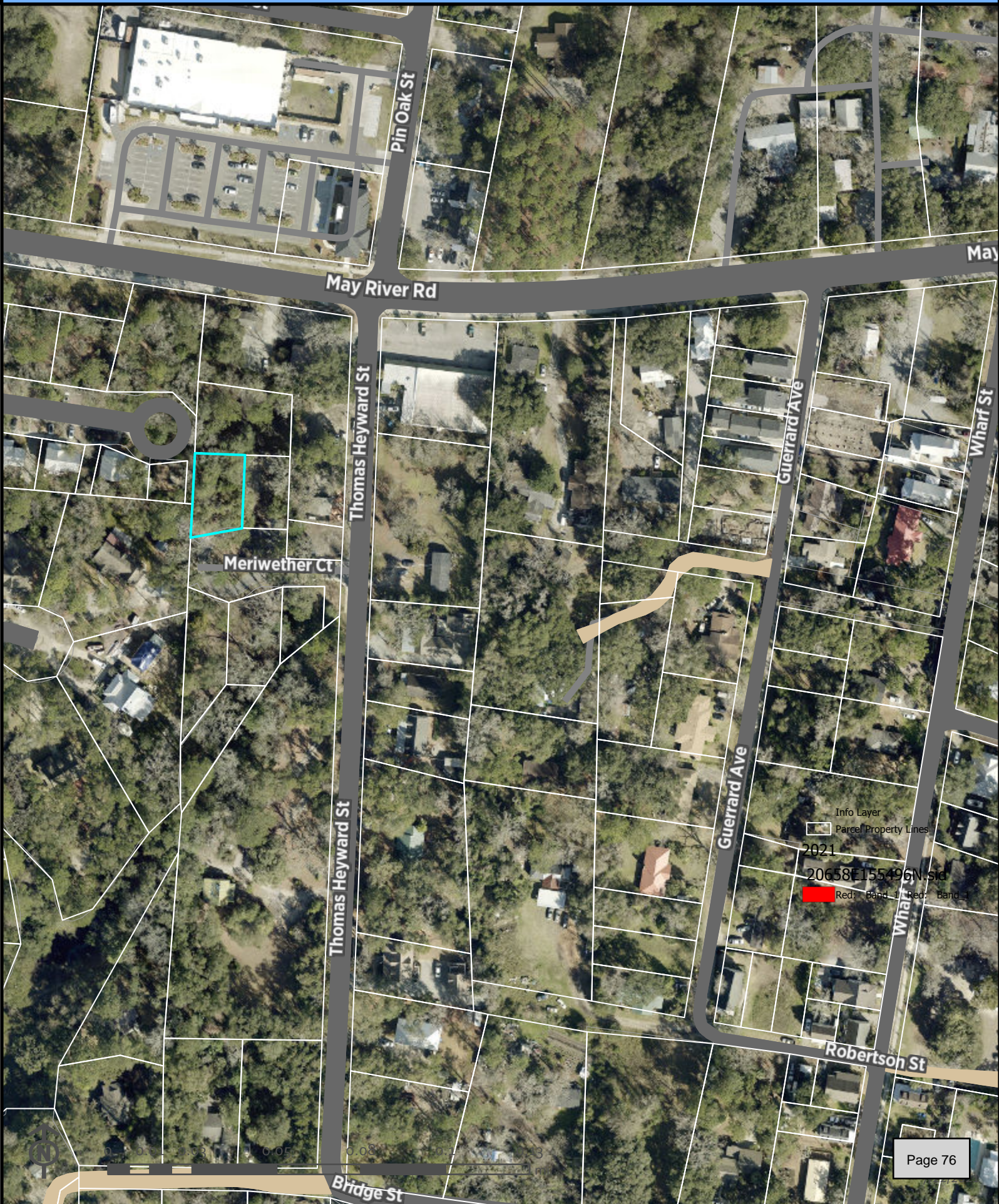
As there are several trees 14 inches in diameter at breast height or greater, being proposed for removal, a tree removal permit is required.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

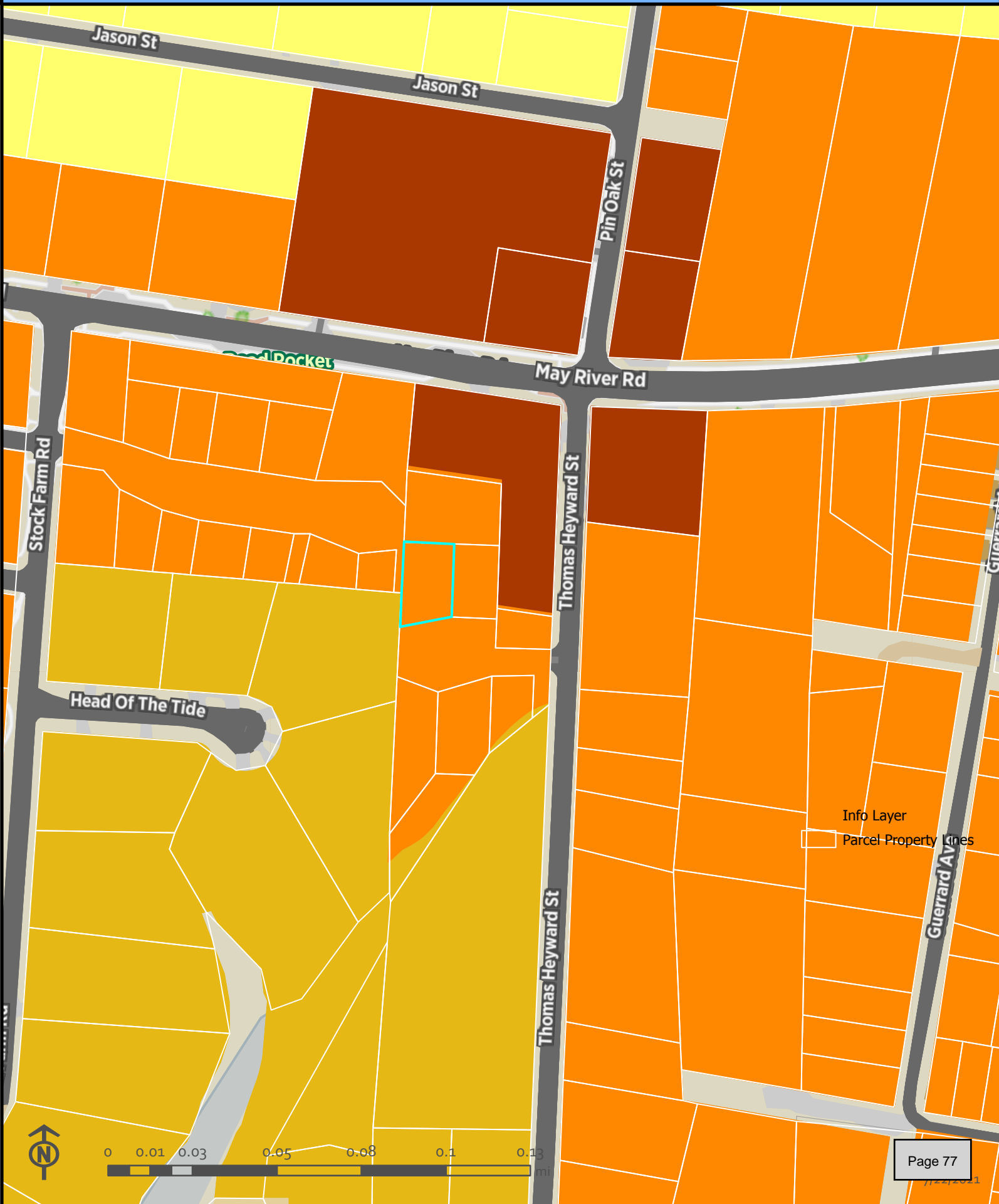
1. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.
2. Per Section 3.18.3.D., the additional architectural changes should be made to be more representative of the architectural diversity of Old Town Bluffton Historic District.
3. Per Section 5.3.7.D., provide revised landscape plan with updated canopy coverage calculations.
4. Per Section 5.15.5.F.4., and Traditional Construction Patters Sections 31 and 32, number of window and door proportions must be reduced provide a better proportional relationship between the elements.
5. The HPC must determine if an exception to the Front Build-to Line, in accordance with Section 5.15.5.F.6., is appropriate to preserve the protected trees at the front of the lot.
6. Per Section 5.15.6.F.10., provide material and dimensional information on the proposed service yard area.
7. Per Section 5.15.6.H., provide a railing and detail, which includes a handrail extending from the top nose to the bottom nose of the stair.
8. Per Section 5.15.6.H.1.a. of the UDO, columns must be reconfigured to be spaced no farther apart than they are tall on the front porch.
9. Per Section 5.15.6.I., a typical window detail showing the muntin configuration must be provided for review.
10. Per Section 5.15.6.N. provide a water table detail for the primary structure.
11. Per Section 5.15.6.P., the T-111 plywood soffit material in the soffit must be revised to a permitted material.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Application
4. Site Plan & Elevations
5. Landscape Plan & Canopy Coverage
6. HPRC Report



Info Layer
Parcel Property Lines
2021
20658E155496N.sld
Red: Band 1, Red: Band 1





TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION

Growth Management Customer

20 Bridge Street
 Bluffton, SC 29910
 (843)706-4522

www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

JUL 09 2021

Planning & Growth Mgmt

Applicant		Property Owner	
Name: BFL Builders		Name: Same	
Phone: 843.473.3679		Phone:	
Mailing Address: Box 21484 HHI, SC 29925		Mailing Address:	
E-mail: barry@hhrandr.com		E-mail:	
Town Business License # (if applicable):			
Project Information (tax map info available at http://www.townofbluffton.us/gis/)			
Project Name: Landen Oak Subdivision - Lot 4	Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Location: 30 Meriwether Court	Application for:		
Zoning District: NG-HD	<input checked="" type="checkbox"/> New Construction		
Acreage: .159	<input type="checkbox"/> Renovation/Rehabilitation/Addition		
Tax Map Number(s): R610 039 00A 0391 0000	<input type="checkbox"/> Relocation or Demolition		
Project Description: Single family residential home with detached garage and ADU above.			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Full sized copies and digital files of the Site Plan(s). One (1) set for Conceptual, two (2) sets for Final <input checked="" type="checkbox"/> 2. Full sized copies and digital files of the Architectural Plan(s). One (1) set for Conceptual, two (2) sets for Final <input checked="" type="checkbox"/> 3. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist. <input type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Barry L. Bryant</i>		Date: May 12, 2021	
Applicant Signature: <i>Barry L. Bryant</i>		Date: May 12, 2021	
For Office Use			
Application Number: COFA-06-21-015416		Date Received: 7/9/21	
Received By: <i>L. Frisello</i>		Date Approved:	



TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input checked="" type="checkbox"/>		FINAL REVIEW <input type="checkbox"/>	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5): Additional Building Type					
Building Setbacks	Front: 40'	Rear: 28'	Rt. Side: 40'	Lt. Side: 10'	
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage		Proposed Square Footage	
Main Structure	Main House			2,113	
Ancillary	Garage with ADU above			unfinished	
Ancillary					
4. SITE COVERAGE					
Impervious Coverage			Coverage (SF)		
Building Footprint(s)			1,326 (main house) 352 (garage)		
Impervious Drive, Walks & Paths			0		
Open/Covered Patios			0		
A.TOTAL IMPERVIOUS COVERAGE			1,458		
B.TOTAL SF OF LOT			6,920		
% COVERAGE OF LOT (A/B= %)			21%		
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation		
Foundation	Concrete w/tabby	Columns	pressure treated 2x6		
Walls	2x6 w/Hardie smooth siding	Windows	vinyl		
Roof	asphalt shingle	Doors	Solid wood		
Chimney	n/a	Shutters	n/a		
Trim	Hardie smooth	Skirting/Underpinning	Tabby		
Water table	5/4 x 10 Hardie	Cornice, Soffit, Frieze	Hardie		
Corner board	5/4 x 6 Hardie	Gutters	Half round metal		
Railings	pressure treated 2x2	Garage Doors	aluminum overhead		
Balusters	pressure treated 2x2	Green/Recycled Materials			
Handrails	2x8				



CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS-HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT
<input type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT APPLICATION CHECKLIST

<input type="checkbox"/>	<input checked="" type="checkbox"/>	PHOTOS: Comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded)
<input type="checkbox"/>	<input type="checkbox"/>	PRELIMINARY DEVELOPMENT PLAN APPLICATION: Submit a Preliminary Development Plan Application along with all required submittal items as depicted on the application checklist.

**SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL
ALL SUBMITTALS MUST BE COLLATED AND FOLDED TO 8-1/2" X 11"**

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Barry L Bryant

July 8, 2021

Signature of Property Owner or Authorized Agent

Date

Barry L Bryant

Printed Name

Landen Oak Subdivision Lot 4 - 30 Meriwether Court

Project Narrative

Landen Oak subdivision consists of 6 single family residential building lots located off Thomas Hayward Street approximately 100 yards from its intersection with Route 46 in Old Town Bluffton. It is located within the Town of Bluffton's Neighborhood General Historic District (NG-HD) zoning classification. BFL Builders, the applicant, purchased 5 of the building lots and the common areas from Bluffton Development Group in January 2021.

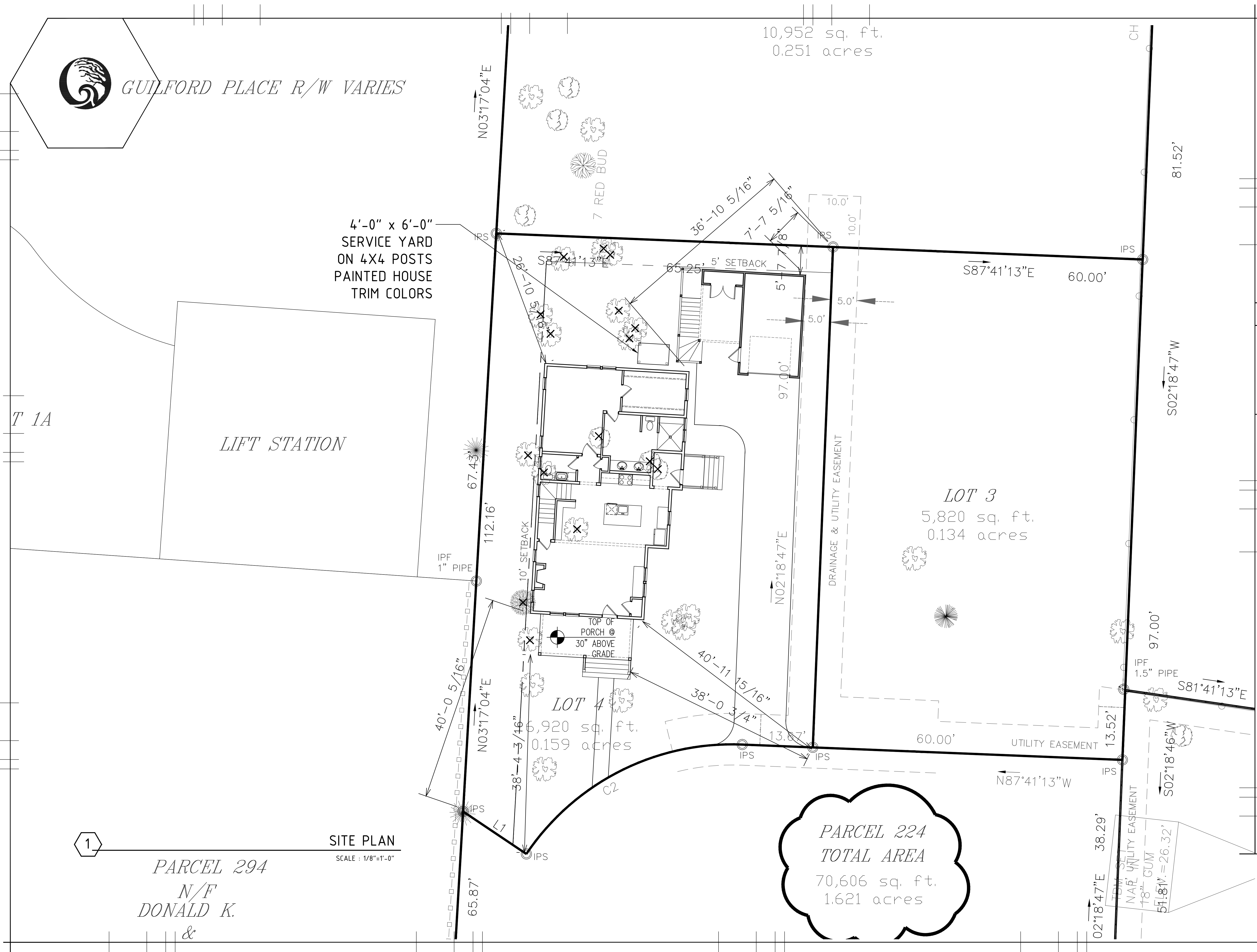
BFL Builders intends to construct 5 single family residences with detached garages on these lots during 2021 and 2022.

Lot 4 is a heavily treed 6,920 square foot (.159 acre) lot located at the right rear of the subdivision between lot 3 and the border with Stock Farm subdivision. BFL Builders plans to construct a 2,113 square foot 1.5 story main house and detached 1.5 car garage located at the rear of the lot. This house will fall under the "Additional Building Type" classification within the NG-HD district's design standards as defined in section 5 of the Unified Development Ordinance (UDO).

In order to protect several large live oaks, the house will need to be sited behind the normal 10-20 front build to as specified in section 5-57 of the UDO for Additional Building Types.

BFL Builders will construct a 1.5 story, 2,113 square foot main house with a concrete and tabby foundation featuring mixed shell sizes, gabled asphalt shingle roof, smooth cement fiber siding, vinyl clad windows and a solid wood entry door. In order to differentiate between the houses next door and across the street, the alternating exposure siding pattern will be unique to this home, the entry door will be 6' 8' in height with a 14" transom above, the porch roof will be silver metal standing seam and the foundation detail will not be repeated on either of the other two homes.

To the rear of the main house and accessed via a pervious gravel driveway will sit a 1.5 car garage with unfinished ADU above. This garage will be built in a similar manner and style as the main house.



issued for:	issued date:



PHONE: 901.949.2568
EMAIL: travis@quirks.global
web: www.quirks.global

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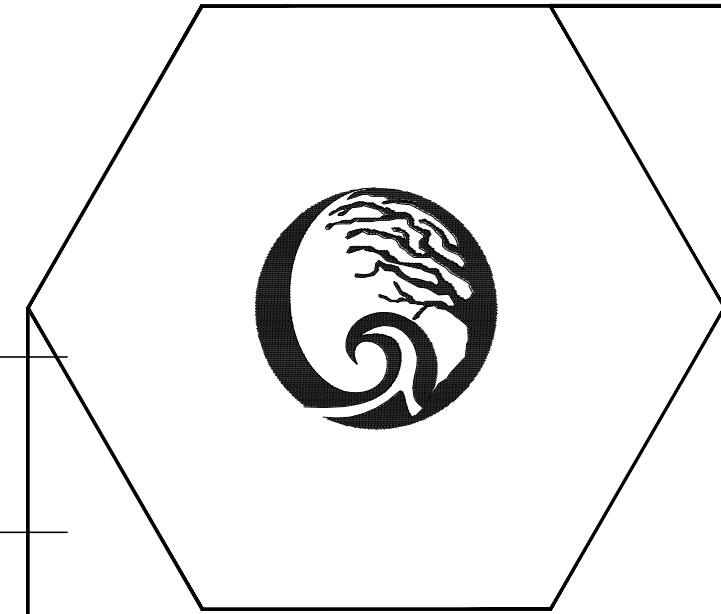
PROJECT:

LANDEN OAKS
AVA'S COTTAGE
BLUFFTON, SC

quirks PROJECT # LOM.01

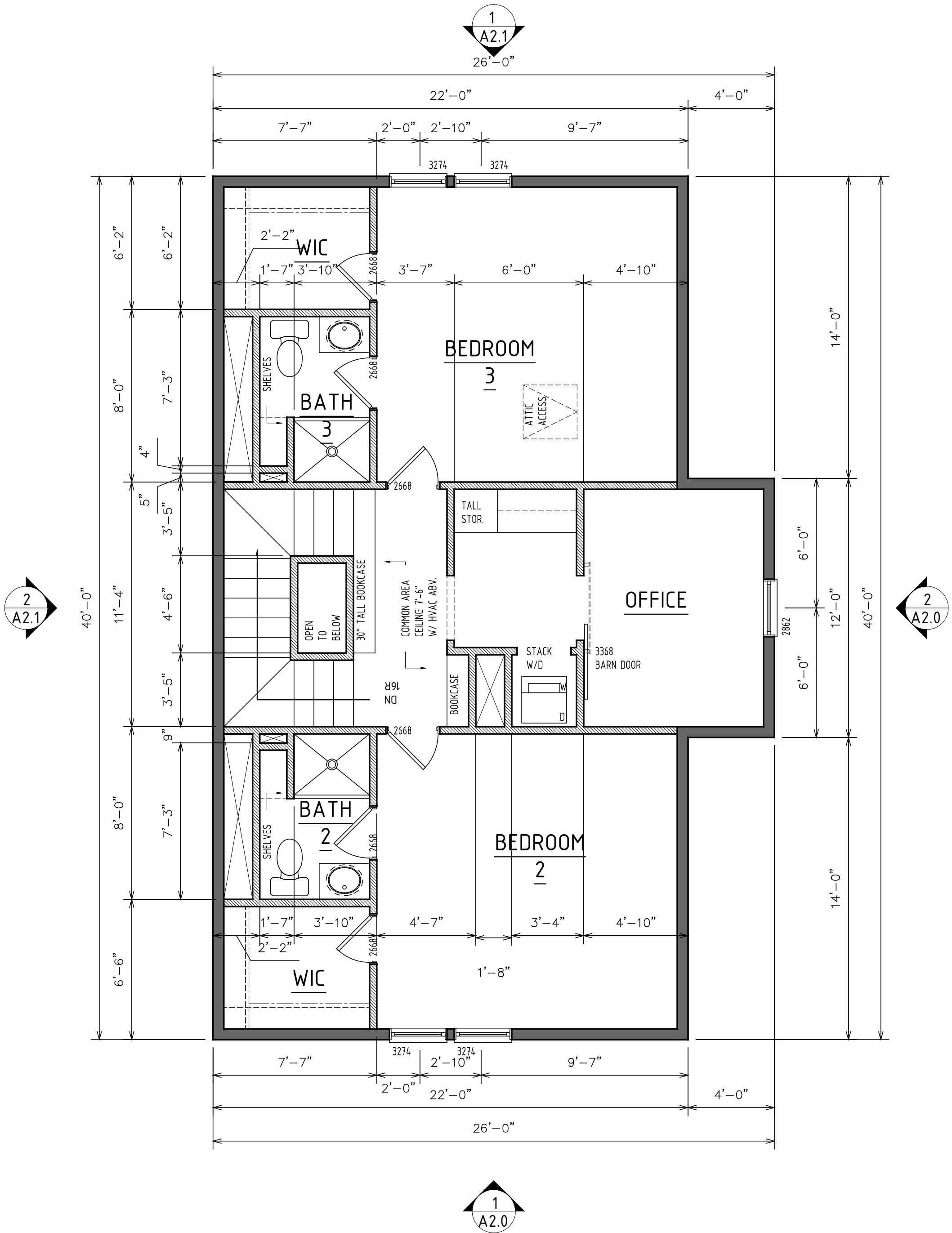
C1.0

SITE PLAN



SQUARE FOOTAGE	
FIRST FLOOR HEATED	1,251 SF.
SECOND FLOOR HEATED	862 SF.
TOTAL:	2,113 SF.

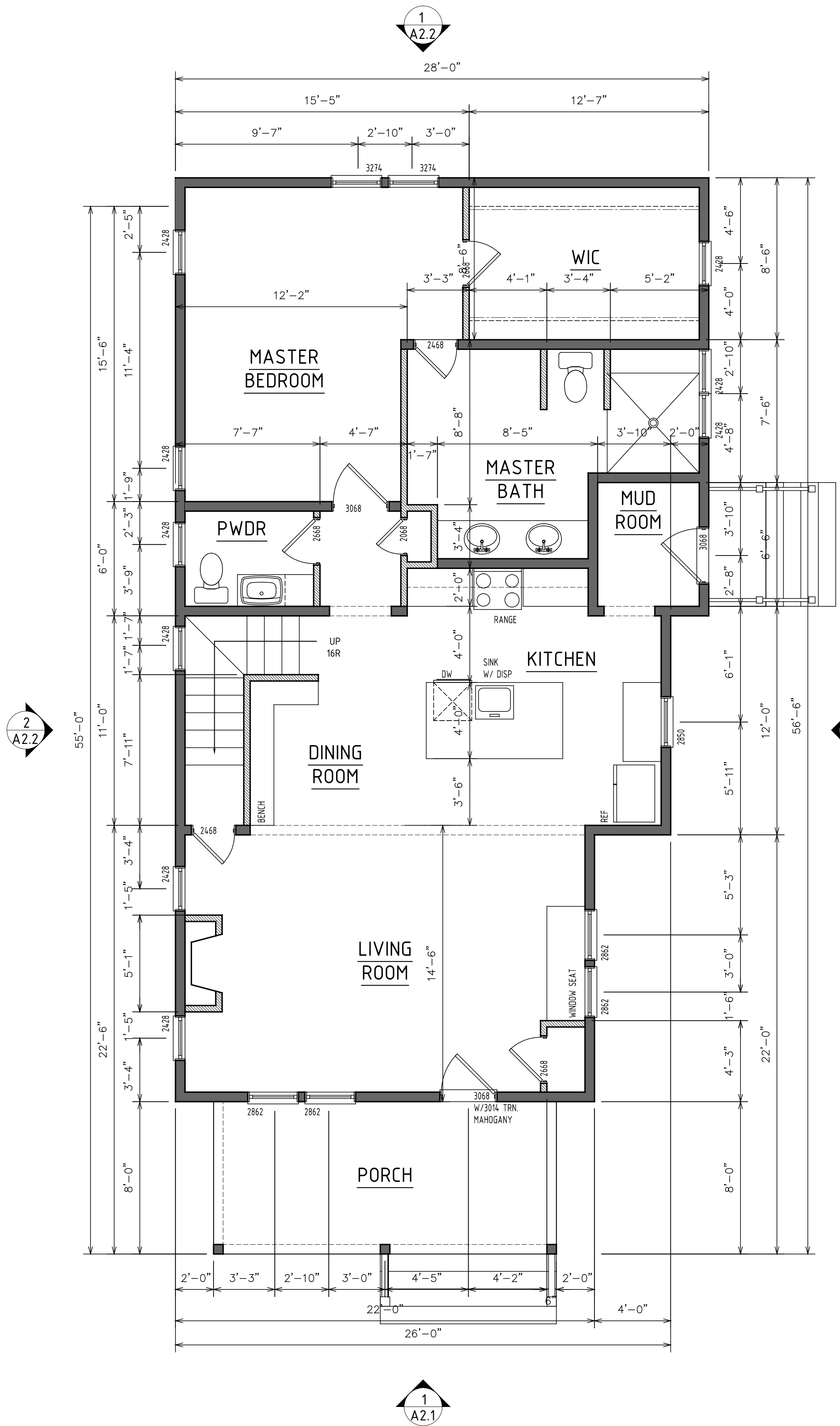
WALL LEGEND	
2X4 FRAMING	
2X6 FRAMING	



2

SECOND FLOOR

SCALE : 1/4"=1'-0"



1

FIRST FLOOR

SCALE : 1/4"=1'-0"

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EMAIL: travis@quirks.global
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PROJECT:

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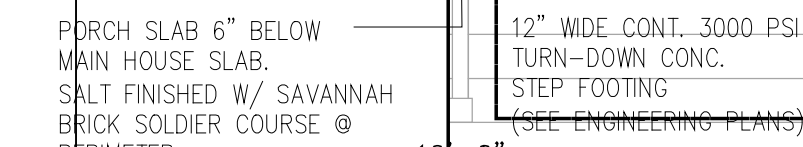
quirks PROJECT # LOM.01

A1.0

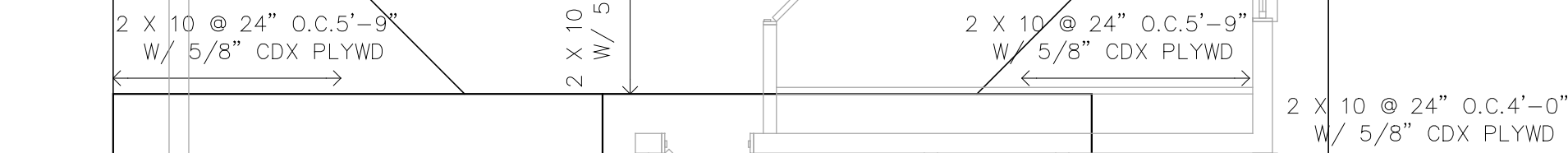
FLOOR PLANS



SCALE : 1/4"=1'-0"



SCALE : 1/4"=1'-0"



SCALE : 1/4"=1'-0"



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LANDEN OAKS
AVA'S COTTAGE
BLUFFTON, SC

A1.1/

ROOF, FOUNDATION,
& FRAMING PLANS

issued for:	issued date:

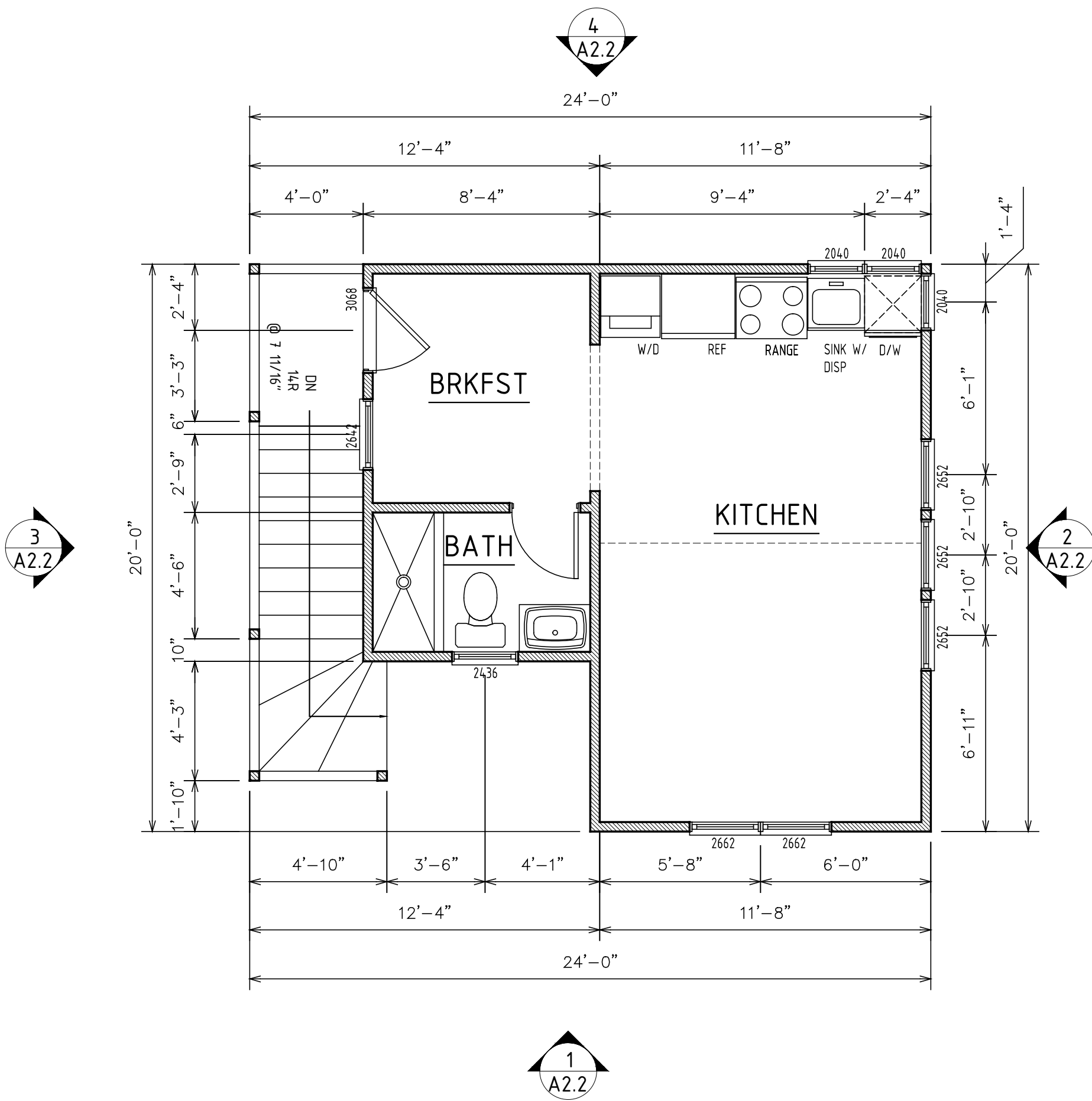


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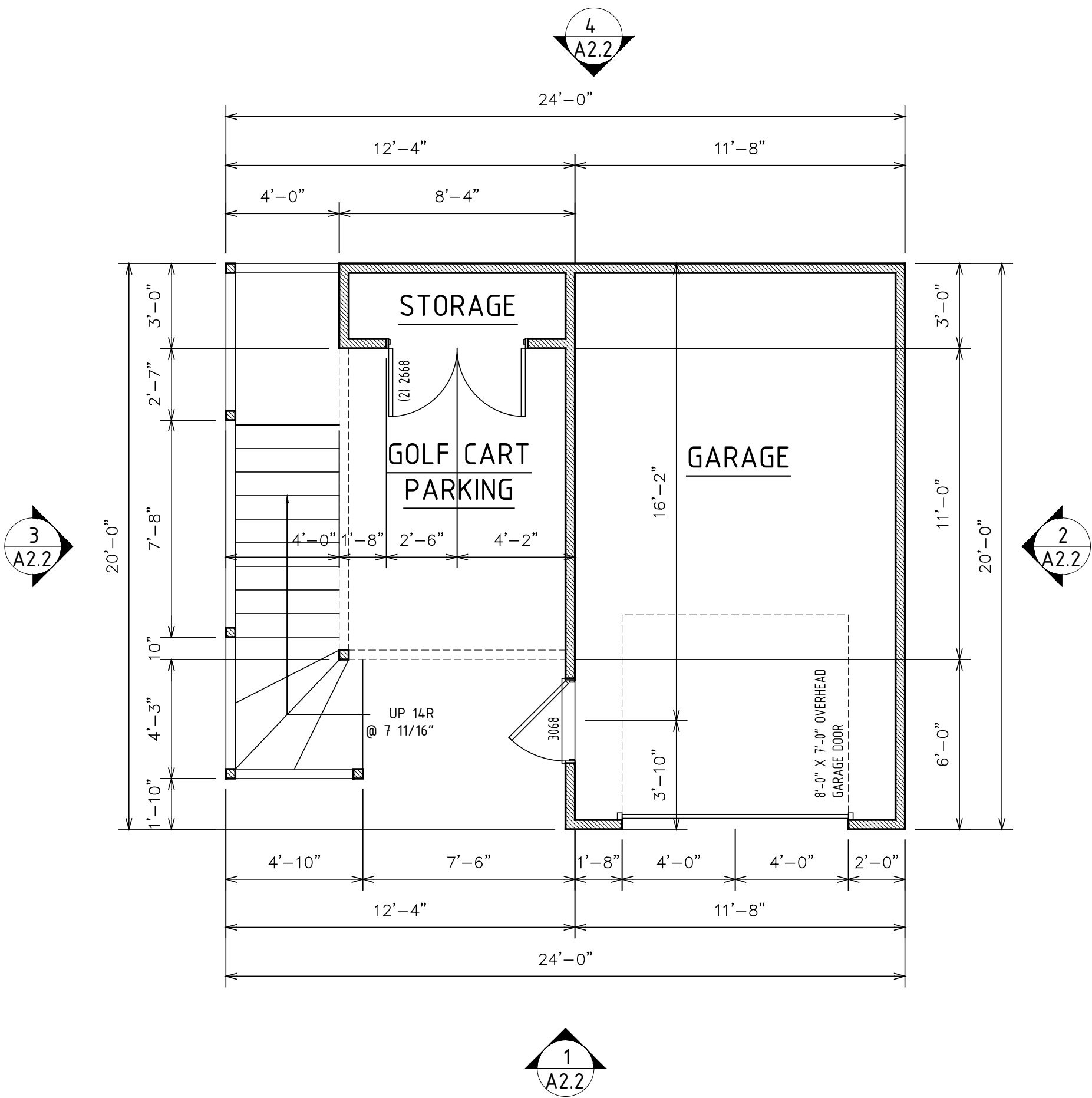
PROJECT:

LANDEN OAKS
AVA'S COTTAGE
BLUFFTON, SC



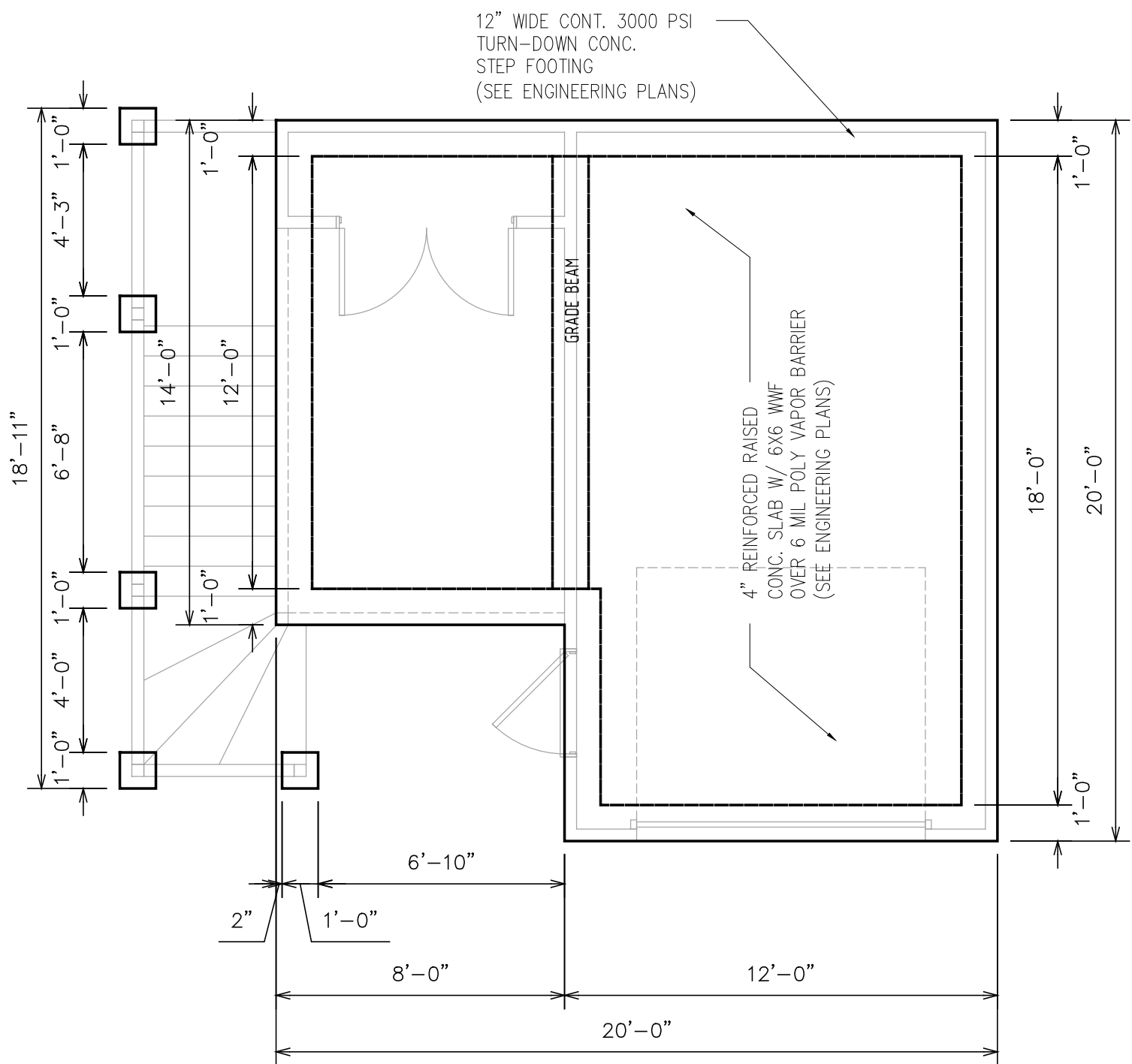
SECOND FLOOR - LOFT

SCALE : 1/4"=1'-0"



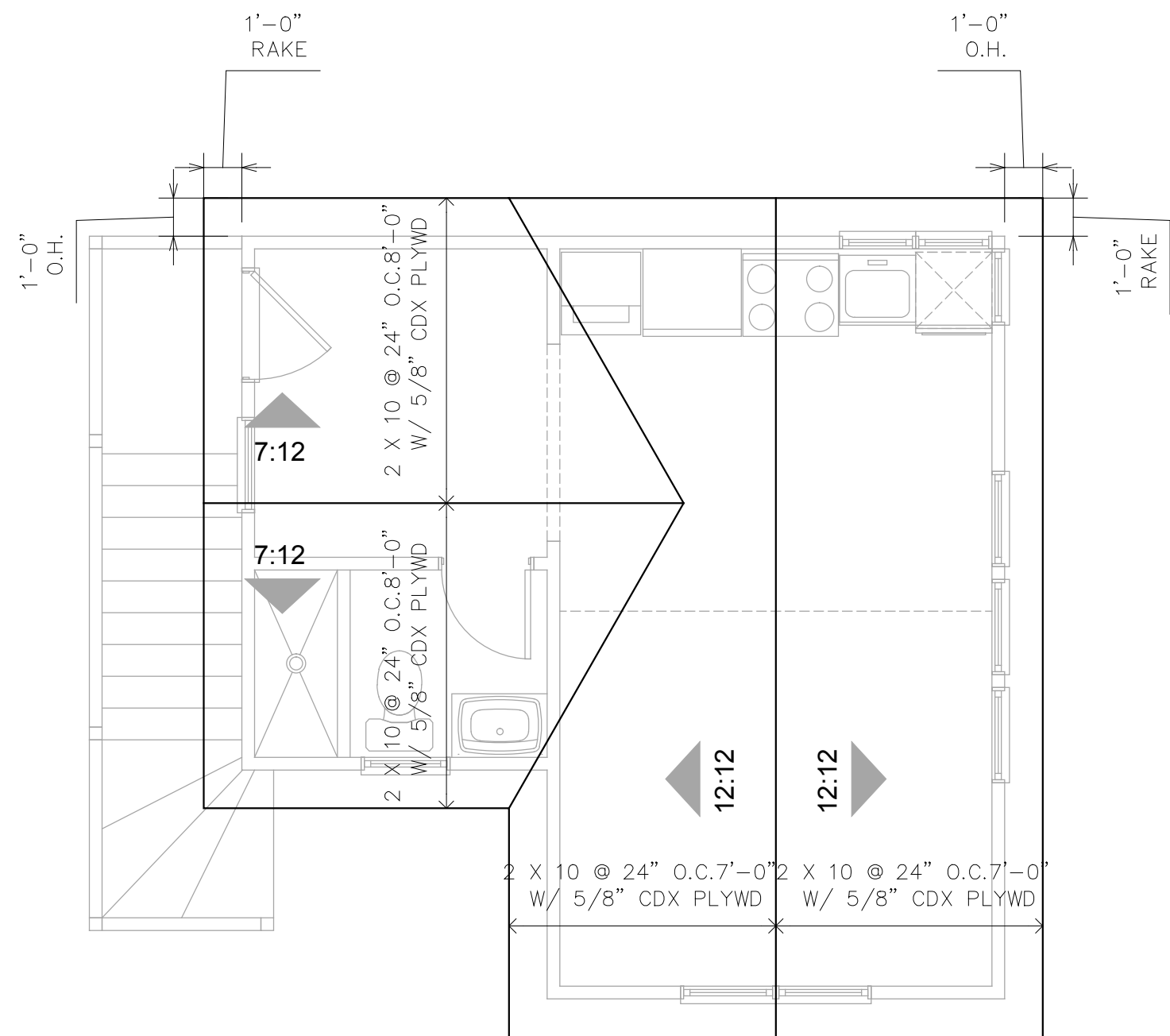
GROUND FLOOR - GARAGE/STORAGE

SCALE : 1/4"=1'-0"



FOUNDATION PLAN

SCALE : 1/4"=1'-0"



ROOF PLAN

SCALE : 1/4"=1'-0"

quirks PROJECT # LOM.01

A1.2

GARAGE PLANS

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EMAIL:travis@quirks.global
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PROJECT:

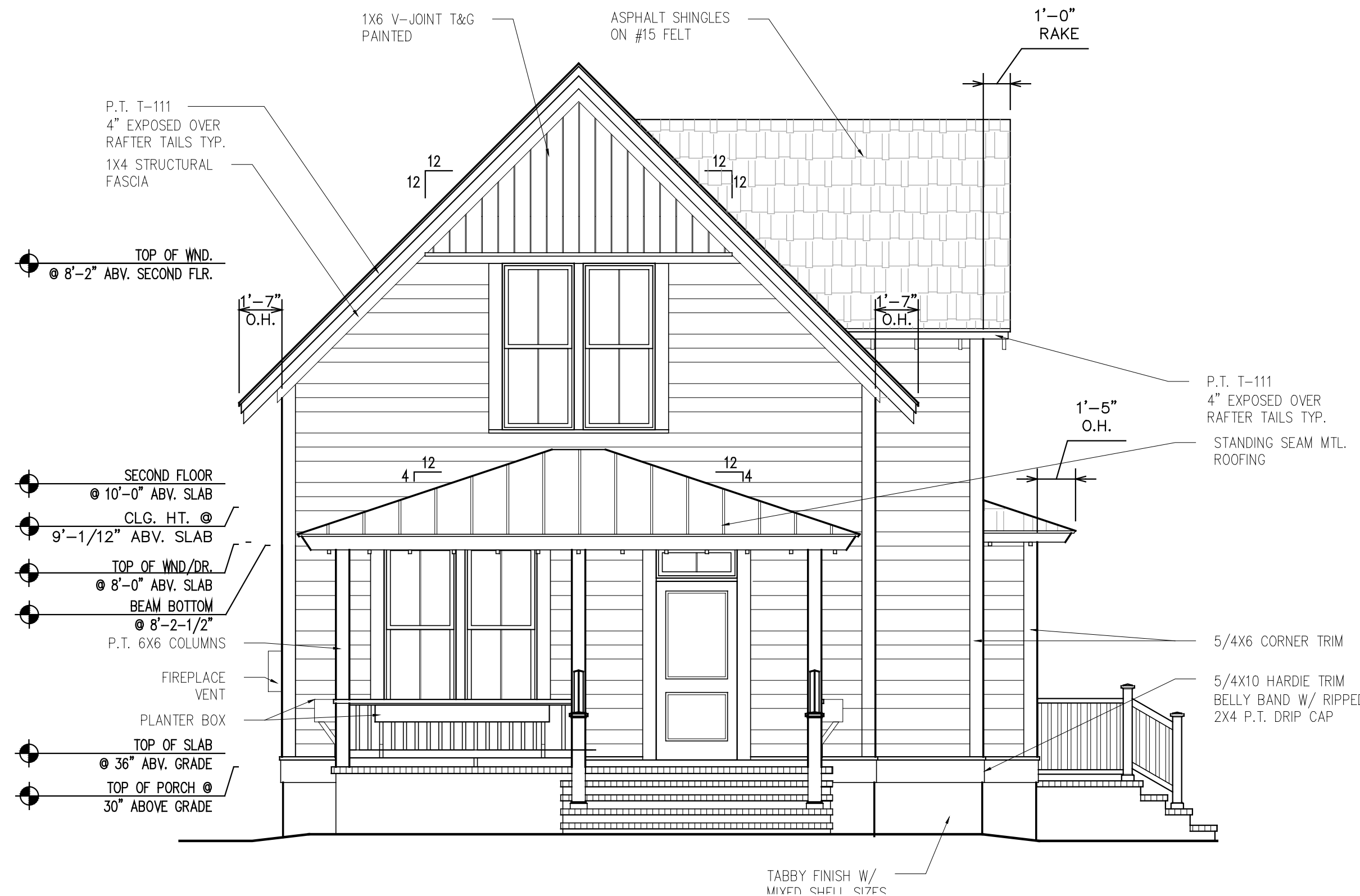
LANDEN OAKS
AVA'S COTTAGE
BLUFFTON, SC



RIGHT ELEVATION

SCALE : 1/4"=1'-0"

2



FRONT ELEVATION

SCALE : 1/4"=1'-0"

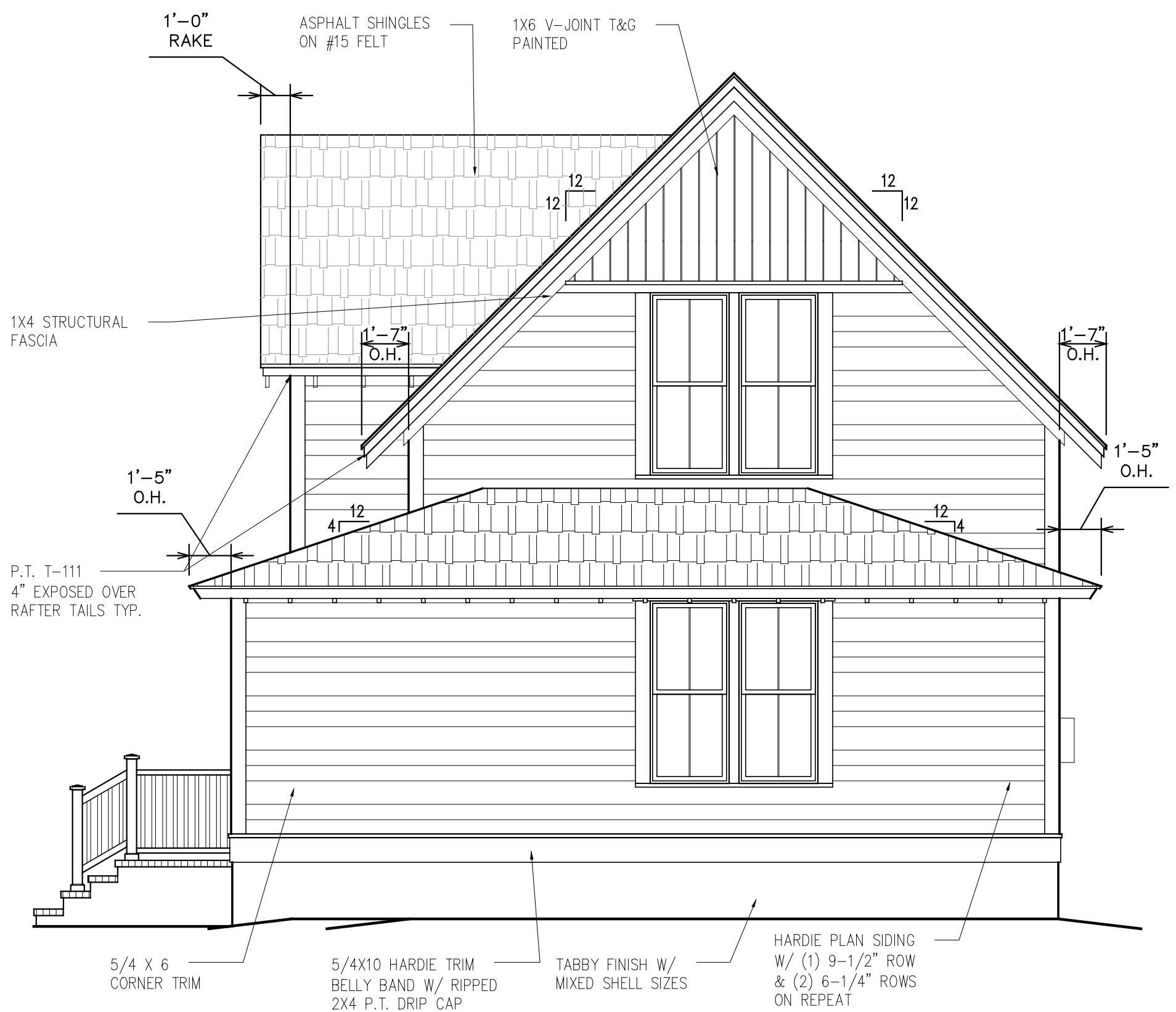
1

quirks PROJECT # LOM.01

A2.0
ELEVATIONS



SCALE : 1/4"=1'-0"



SCALE : 1/4"=1'-0"

[illegible]

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EMAIL: travis@quirks.global
web: www.quirks.global

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PROJECT:

LANDEN OAKS
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A2.0

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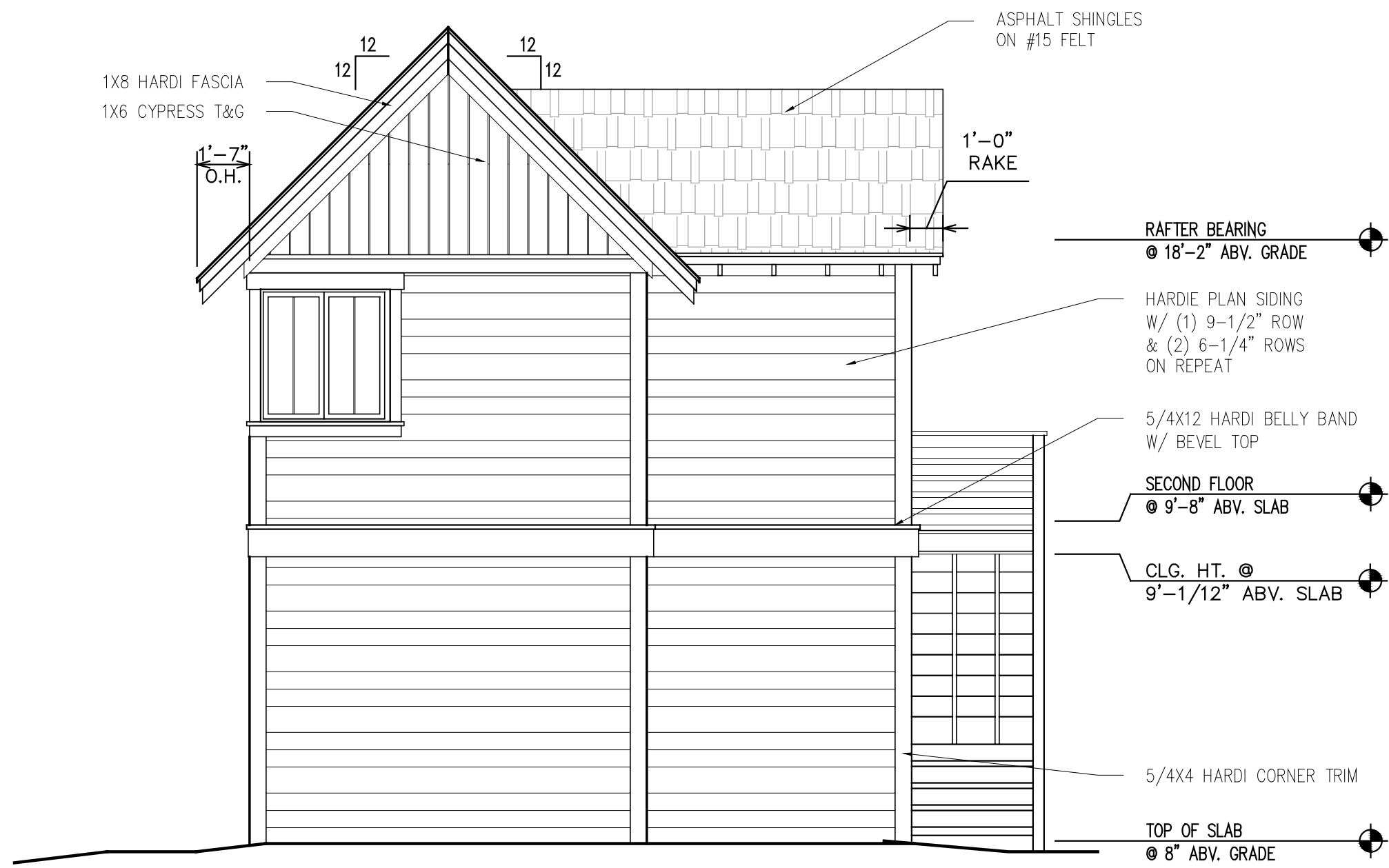
PROJECT:

LANDEN OAKS
AVA'S COTTAGE
BLUFFTON, SC

quirks PROJECT # LOM.01

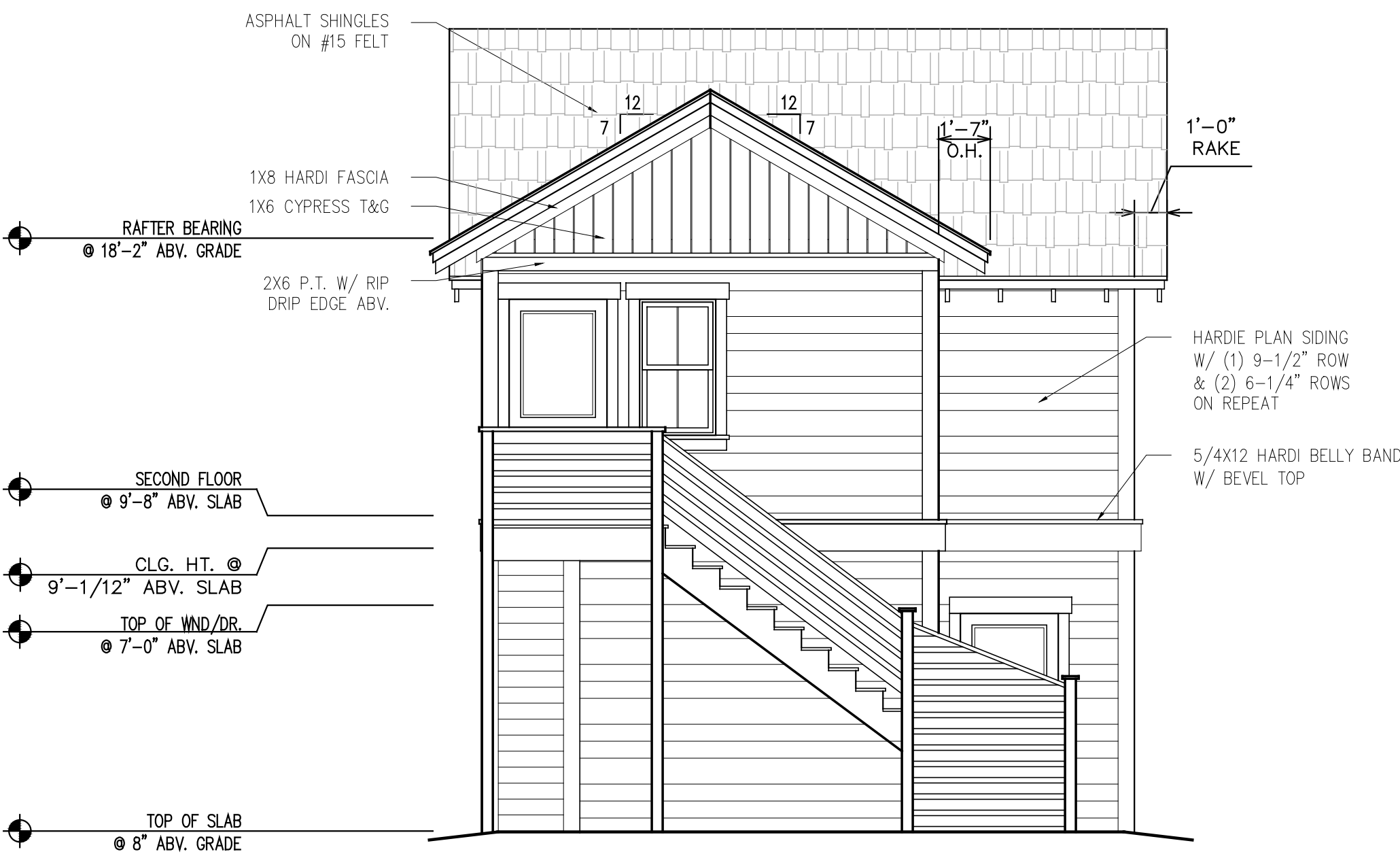
A2.2

GARAGE/LOFT
ELEVATIONS



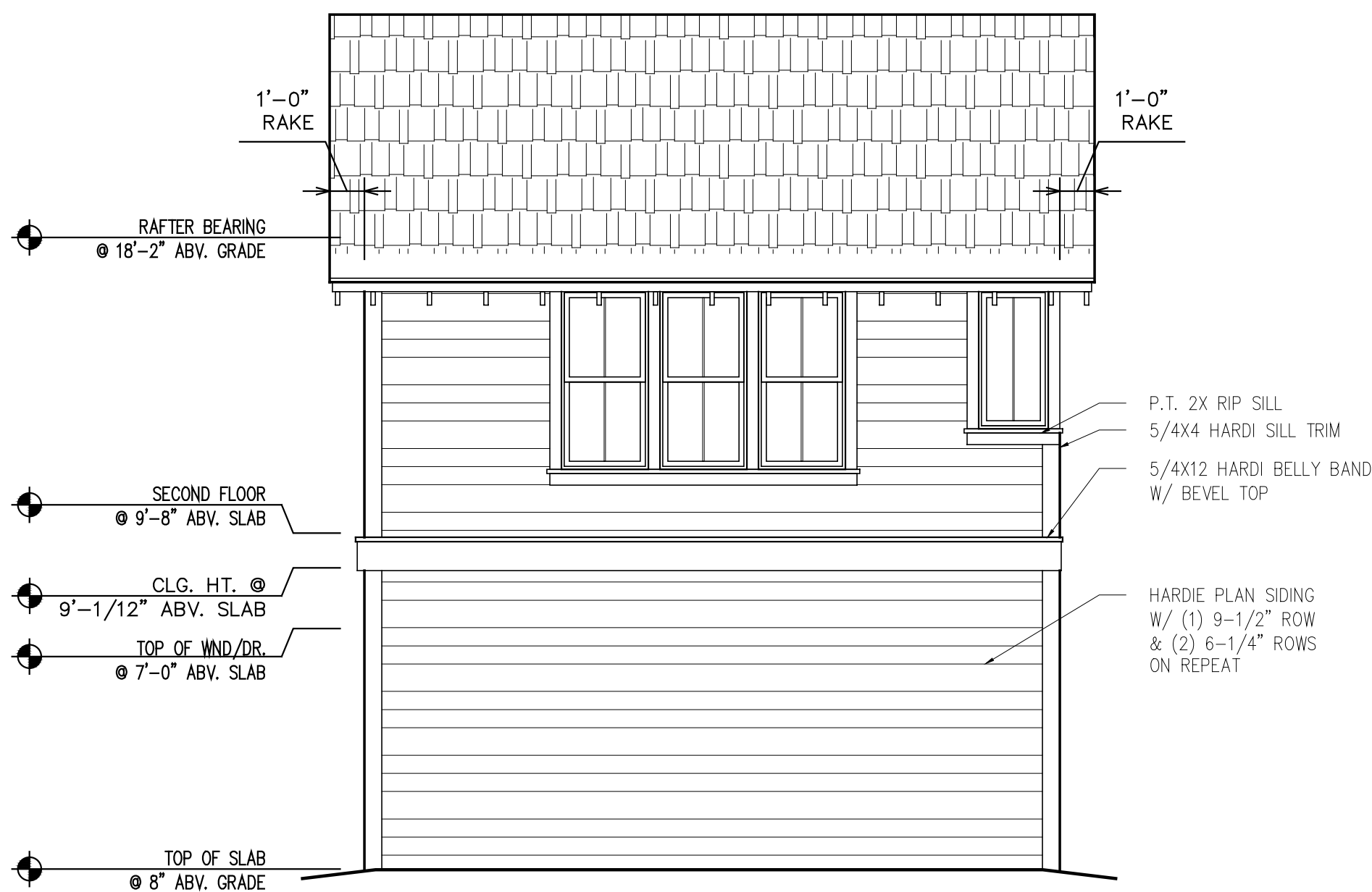
REAR ELEVATION

SCALE : 1/4"=1'-0"



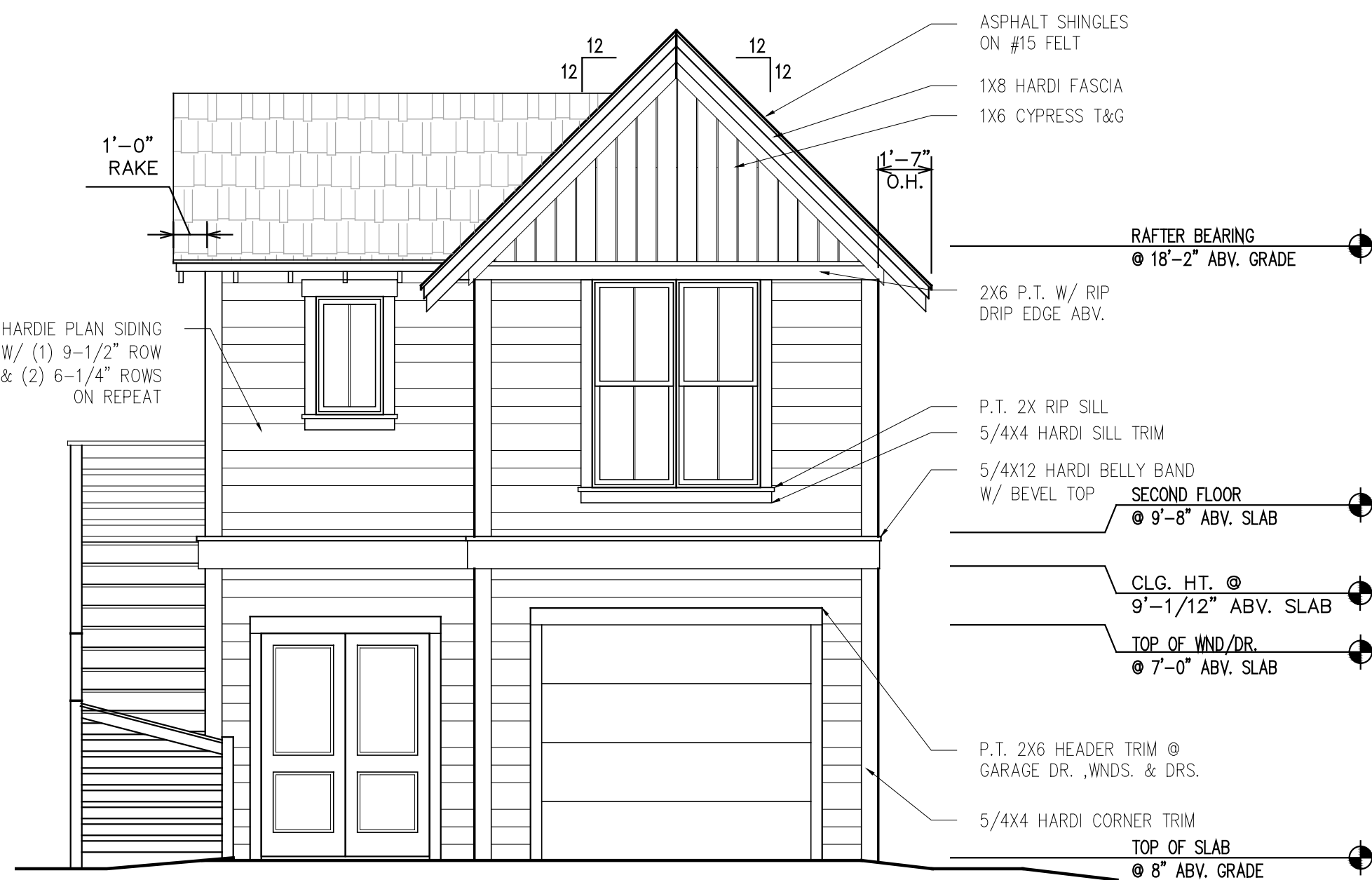
LEFT ELEVATION

SCALE : 1/4"=1'-0"



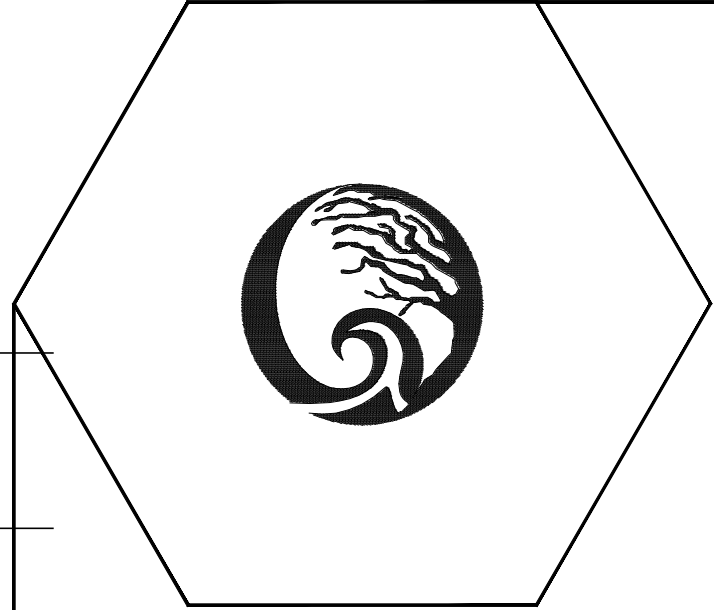
RIGHT ELEVATION

SCALE : 1/4"=1'-0"



FRONT ELEVATION

SCALE : 1/4"=1'-0"



issued for:	issued date:

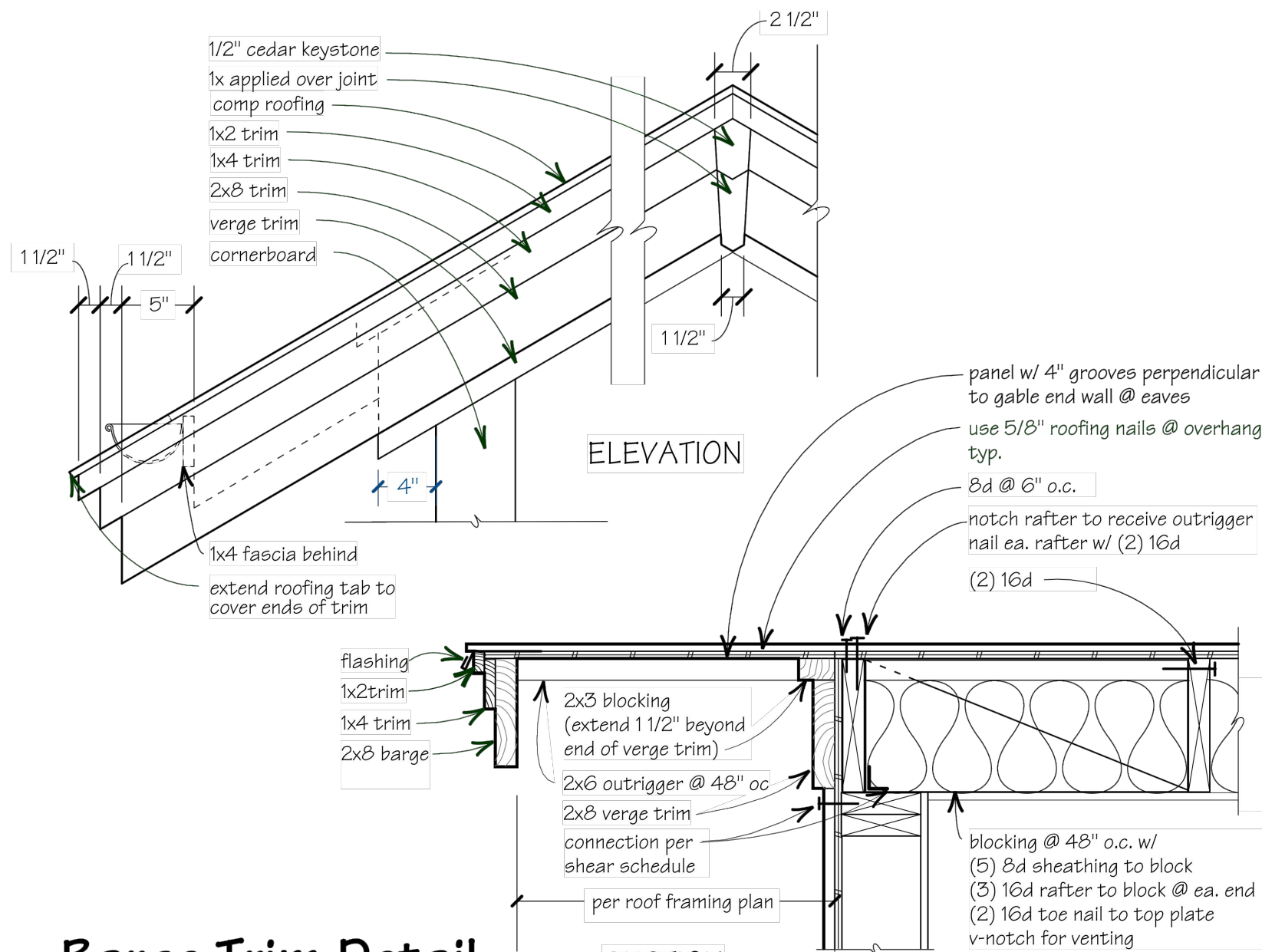


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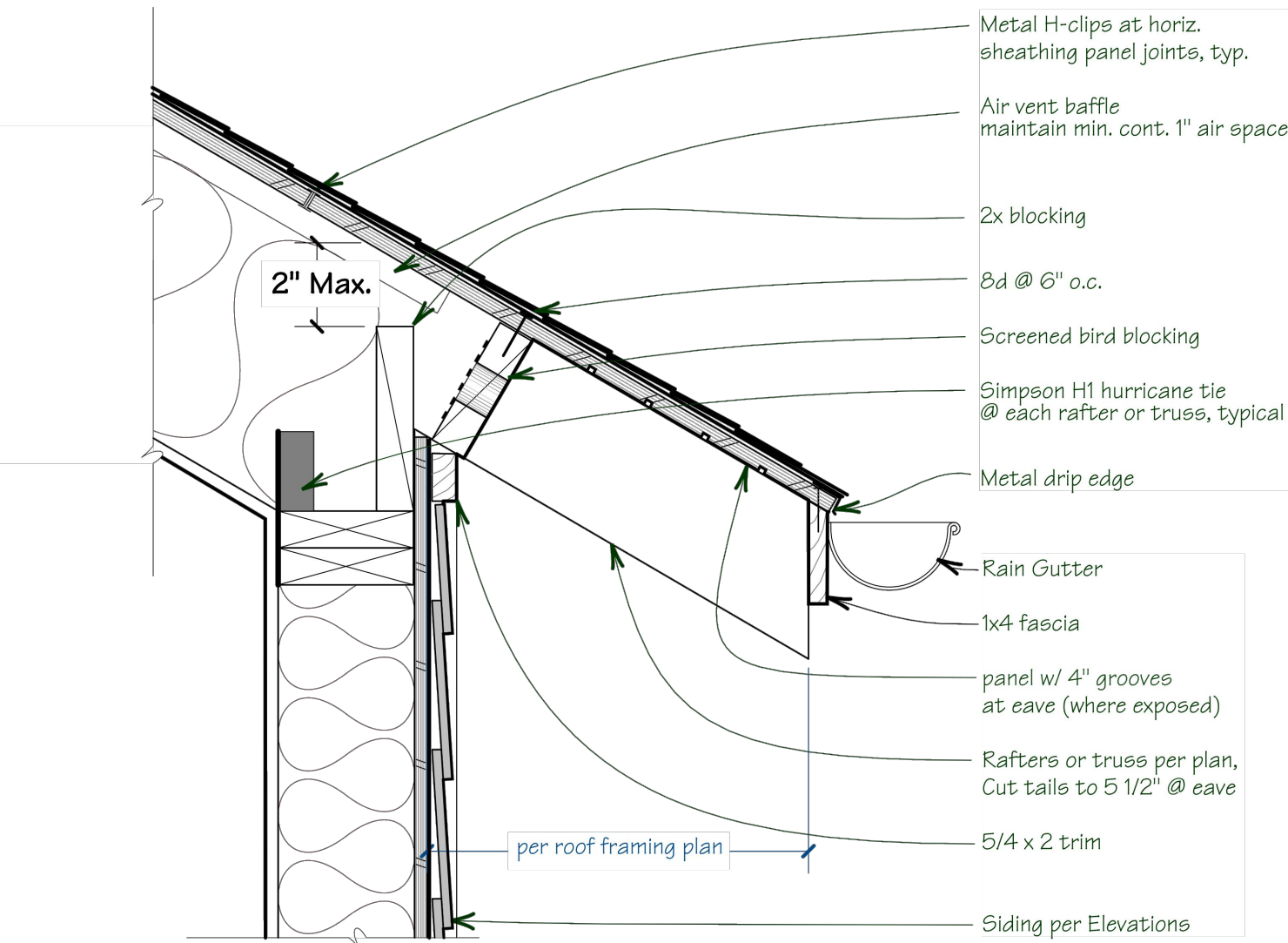
PROJECT:

LANDEN OAKS
AVA'S COTTAGE
BLUFFTON, SC



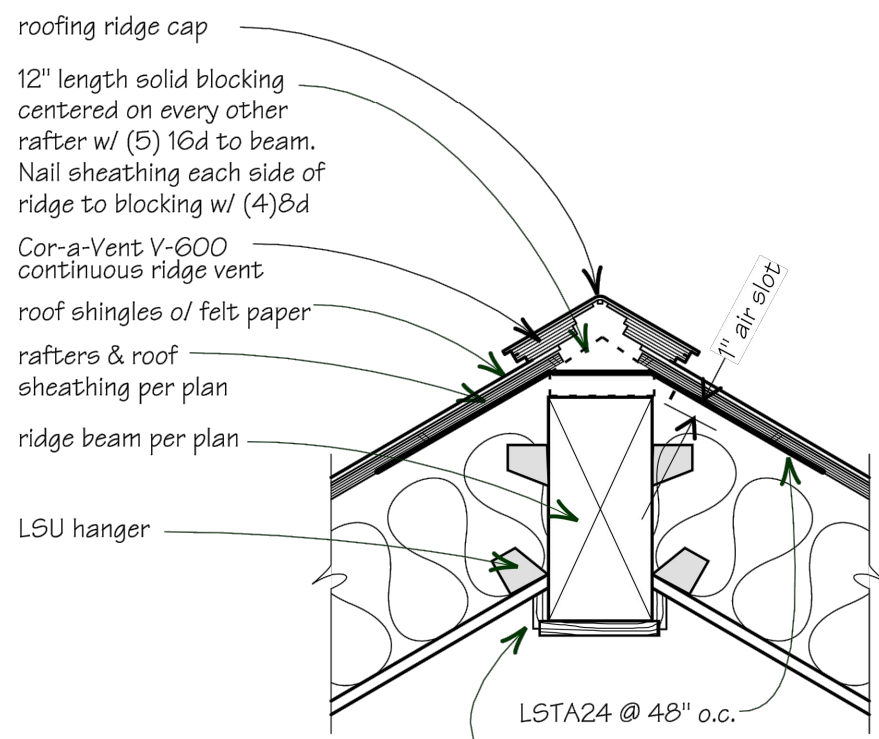
Barge Trim Detail

0 6" 12" 24"

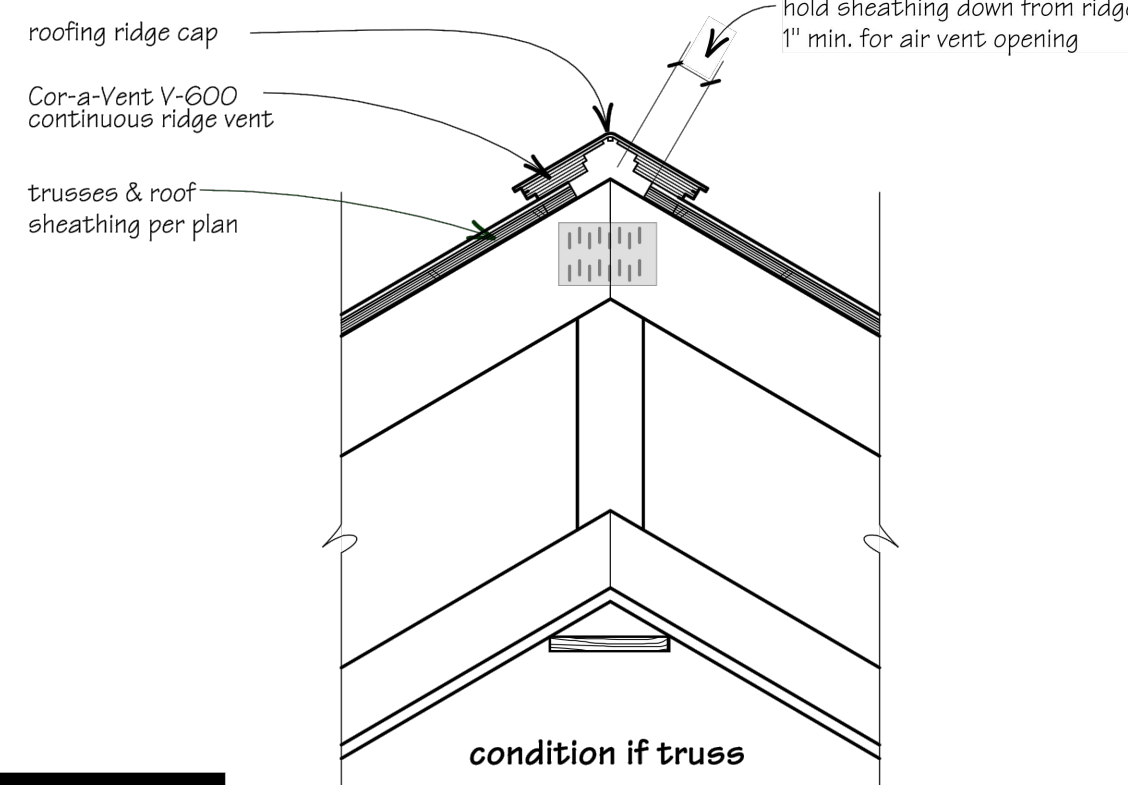


Eave Detail

0 6" 12" 24"



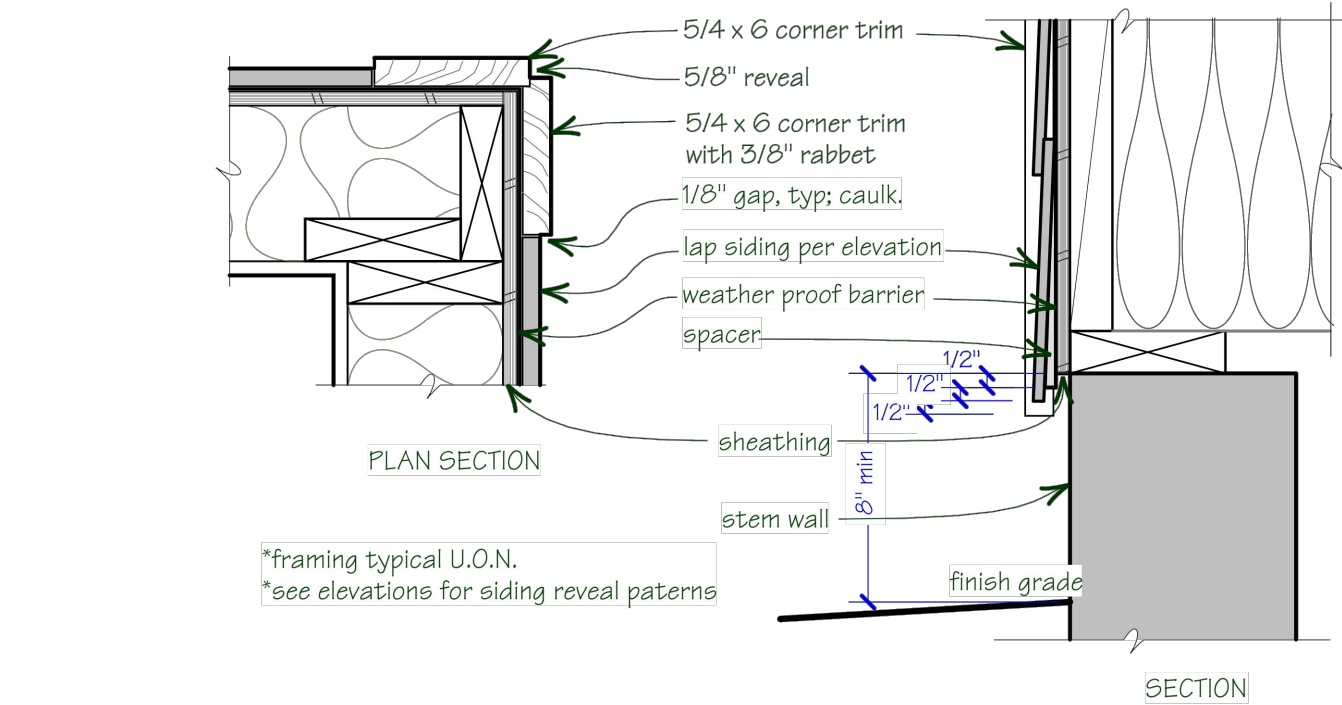
condition if ridge beam



condition if truss

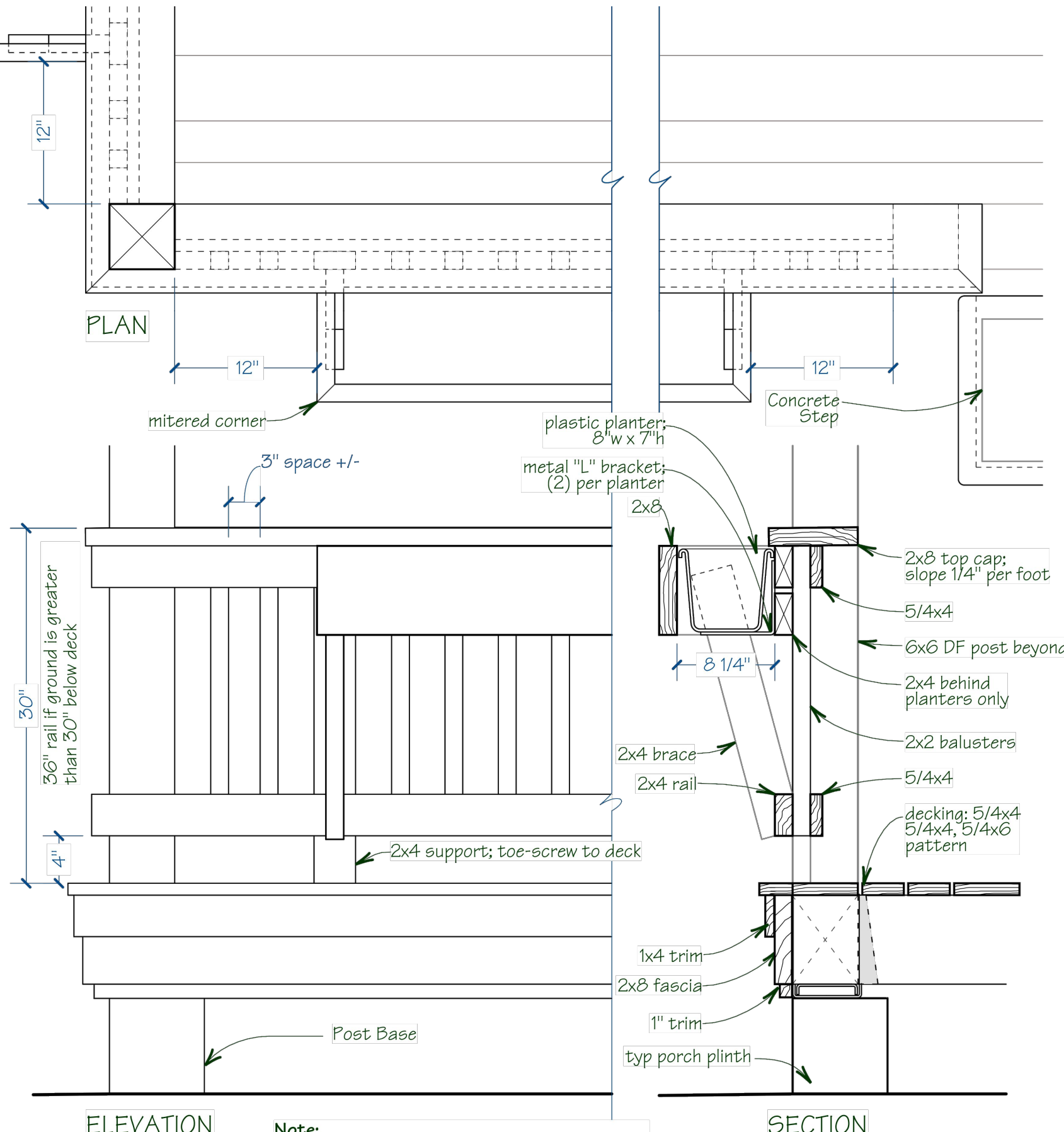
Ridge

0 6" 12" 24"



Lap Siding Detail

0 6" 12" 24"



Vertical Porch Railing and Planter Detail

0 6" 12" 24"

quirks PROJECT # LOM.01

A5.0
DETAILS

issued for:	issued date:



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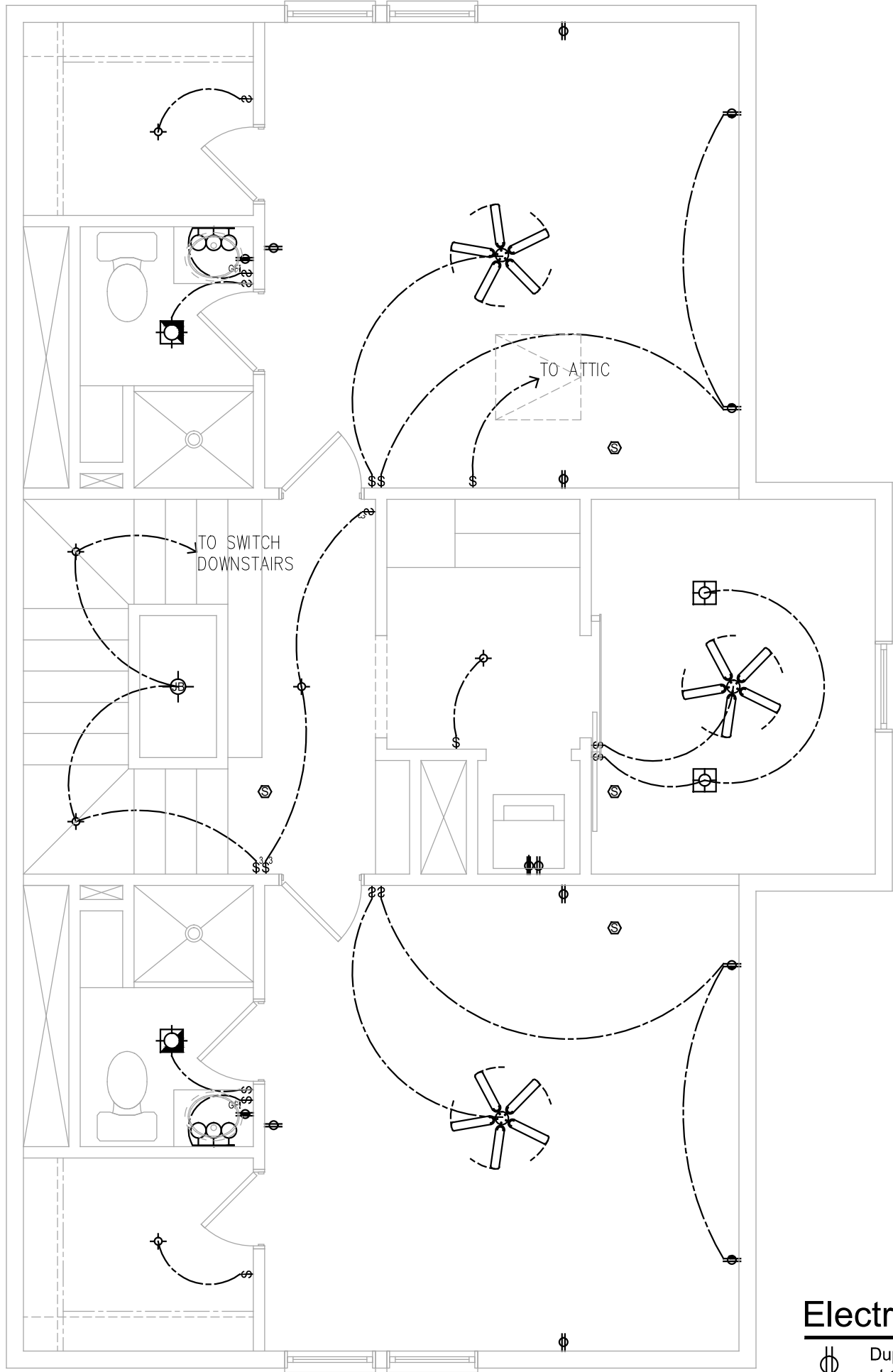
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PROJECT:

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BLUFFTON, SC

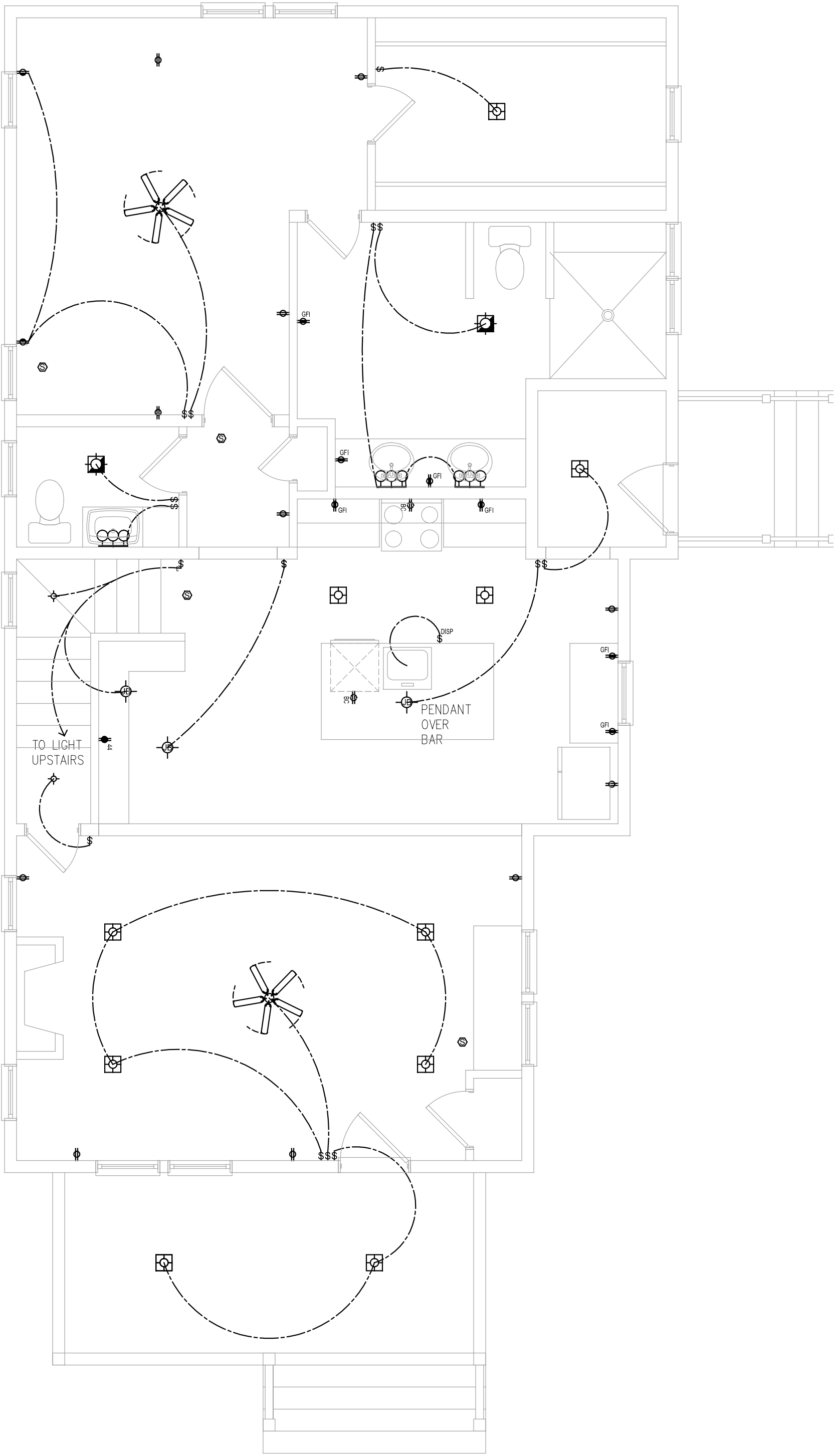
quirks PROJECT # LOM.01

E1.0
ELECTRICAL PLANS



Electrical Symbols Legend

Duplex Outlet: Mount at 18" A.F.F., (Typical)	WP Switch: Weather Proof	Recessed Can Light Fixture
44 Duplex Outlet: Mounting Height as Shown	AC Switch: Above Counter	Recessed Can Light Fixture: Wall Washer
AC Duplex Outlet: Wall Mount Above Counter	DISP Switch: Sink Disposal	Recessed Can Light Fixture: Water Proof
Duplex Outlet: Half Switched	Data Outlet: Mount at 18" A.F.F.	Ceiling Mounted Light Fixture: Incandescent
GFI Duplex Outlet: Ground Fault Interrupt 220 Volt Outlet	Telephone Outlet: Mount at Height Shown	Wall Mounted Light Fixture: Mounting Height
WP Duplex Outlet: Wet Applications	TV Cable & Junction Box	Ceiling Mounted Light Fixture: Junction Box
BC Duplex Outlet: Below Cabinet @ 18" A.F.F.	Thermostat	Fluorescent 2x4 Ceiling Light Fixture
Duplex Outlet: Floor Mounted, Owner Verified	Carbon Monoxide Detector	Fluorescent 2x2 Ceiling Light Fixture
Switch: Mounted at 44" A.F.F., (Typical)	Smoke Detector	1x4 Fluorescent Under Cabinet Strip Lighting
Switch: 3 Way	Push Button	Vanity Light Fixture
Switch: 4 Way	Door Bell	Exhaust Fan w/ Light Fixture (Silent)
Plunger Switch in Door Jamb	Electrical Panel	Exhaust Fan (Silent)
Switch: Dimmer Control	Main Disconnect	Ceiling Fan
	Accessory Disconnect	Attic Fan



SECOND FLOOR - ELECTRICAL

SCALE : 1/4"=1'-0"

FIRST FLOOR - ELECTRICAL

SCALE : 1/4"=1'-0"

issued for:	issued date:



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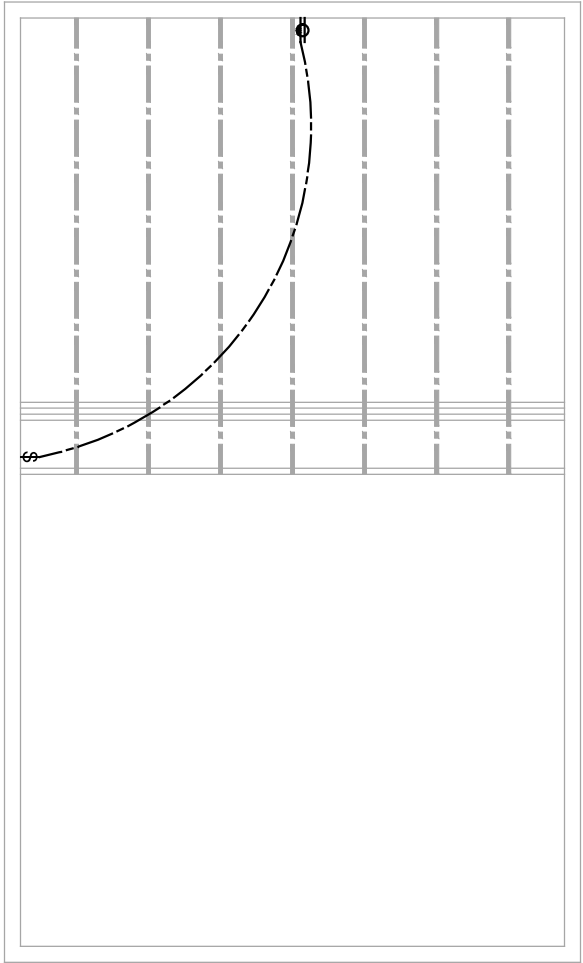
PROJECT:

LANDEN OAKS
AVA'S COTTAGE
BLUFFTON, SC

quirks PROJECT # LOM.01

E1.1

GARAGE/LOFT
ELECTRICAL PLANS



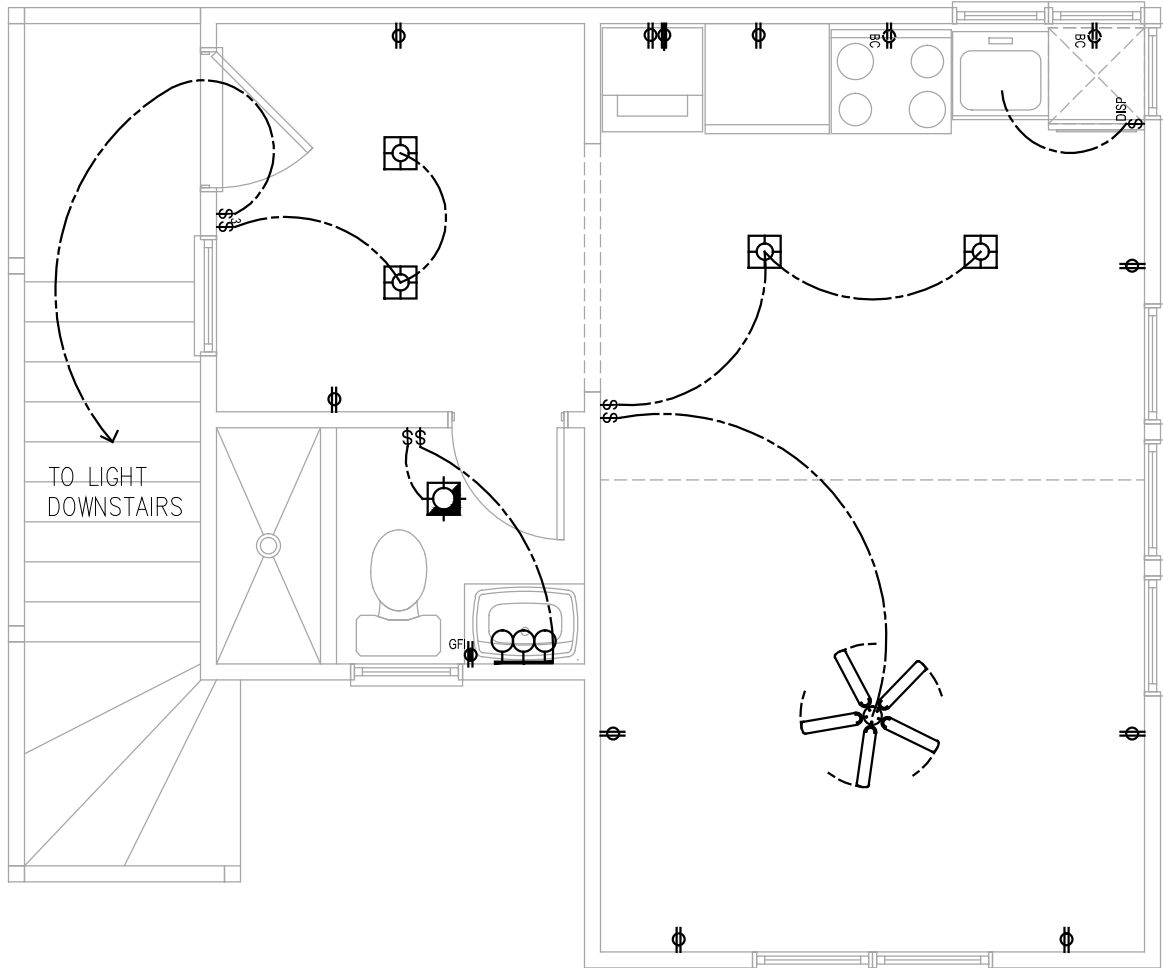
SLEEP LOFT - ELECTRICAL

SCALE : 1/4"=1'-0"

3

Electrical Symbols Legend

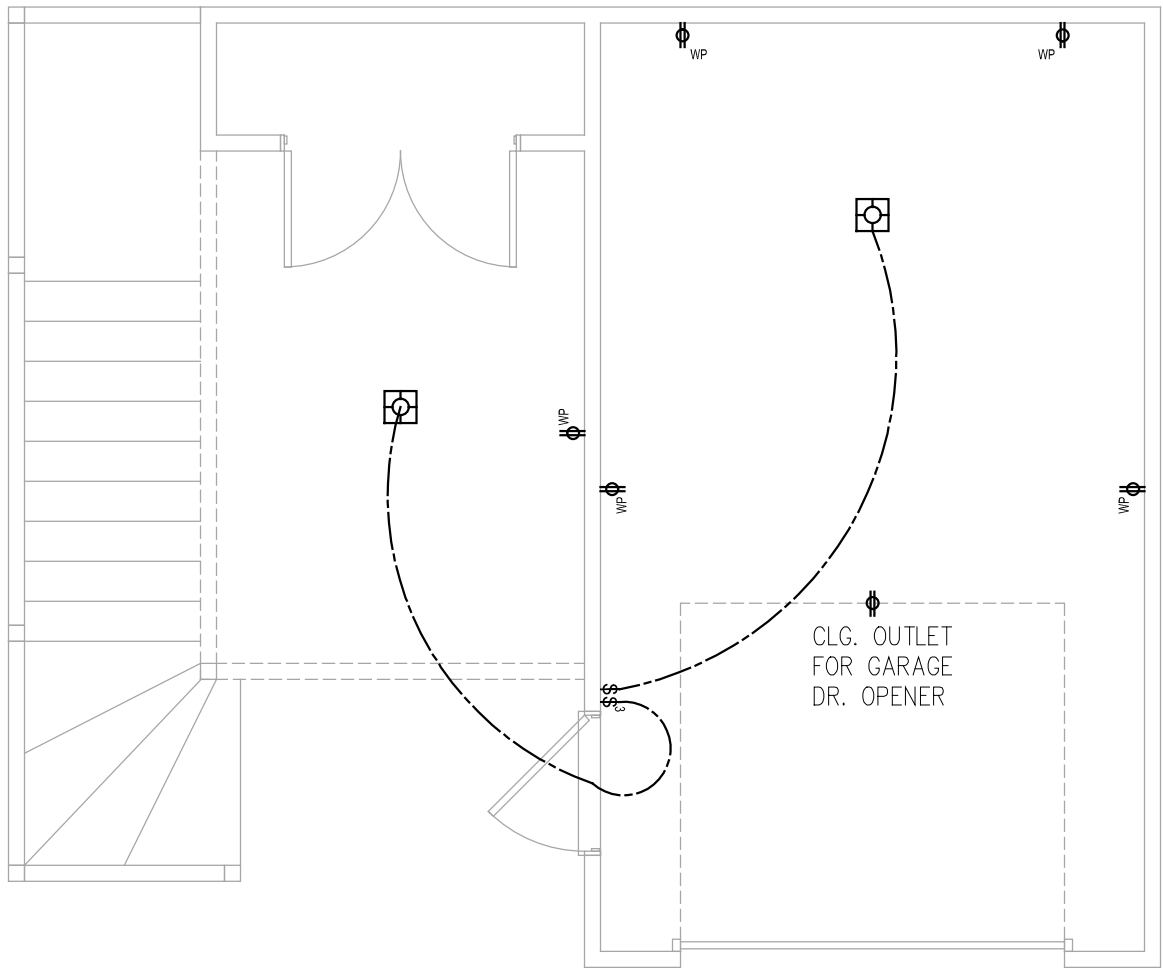
	Duplex Outlet: Mount at 18" A.F.F. (Typical)		WP Switch: Weather Proof		Recessed Can Light Fixture
	44 Duplex Outlet: Mounting Height as Shown		AC Switch: Above Counter		Recessed Can Light Fixture: Wall Washer
	AC Duplex Outlet: Wall Mount Above Counter		DISP Switch: Sink Disposal		Recessed Can Light Fixture: Water Proof
	Duplex Outlet: Half Switched		Data Outlet: Mount at 18" A.F.F.		Ceiling Mounted Light Fixture: Incandescent
	GFI Duplex Outlet: Ground Fault Interrupt 220 Volt Outlet		Telephone Outlet: Mount at Height Shown		Wall Mounted Light Fixture: Mounting Height
	WP Duplex Outlet: Wet Applications		TV Cable & Junction Box		Ceiling Mounted Light Fixture: Junction Box
	BC Duplex Outlet: Below Cabinet @ 18" A.F.F.		Thermostat		Fluorescent 2x4 Ceiling Light Fixture
	Duplex Outlet: Floor Mounted, Owner Verified		Carbon Monoxide Detector		Fluorescent 2x2 Ceiling Light Fixture
	Switch: Mounted at 44" A.F.F. (Typical)		Smoke Detector		1x4 Fluorescent Under Cabinet Strip Lighting
	Switch: 3 Way		Push Button		Vanity Light Fixture
	Switch: 4 Way		Door Bell		Exhaust Fan w/ Light Fixture (Silent)
	Plunger Switch in Door Jamb		Electrical Panel		Exhaust Fan (Silent)
	Switch: Dimmer Control		Main Disconnect		Ceiling Fan
			Accessory Disconnect		Attic Fan



SECOND FLOOR - ELECTRICAL

SCALE : 1/4"=1'-0"

2



FIRST FLOOR - ELECTRICAL

SCALE : 1/4"=1'-0"

1

Tree Removal Plan

The following trees will be removed on Lot 4:

18 inch water oak (incorrectly labeled on tree and topo as a laurel oak - see attached letter from SC arborist)

20 inch water oak (same as above)

24 inch water oak (same as above)

8 inch cherry

11 inch water oak

6 inch and 8 inch magnolias

a cluster of scraggly dead and dying live oaks at the rear of the lot measuring 7 inches, 8 inches, 10 inches, 10 inches and 7 inches

There is sufficient tree canopy from the numerous live oaks at the front of the lot meet the coverage requirements.

All trees to be removed are highlighted on the following page.



Certified State Arborist
TREE RISK ASSESSMENT QUALIFIED
SO 5620A

ALL ASPECTS OF ARBOR CARE
843-575-1620

Actively Practicing Arboriculture Since 1984 in Beaufort County

SPECIALIZING IN STORM DAMAGE INSURANCE CLAIMS MITIGATION - LITIGATION

Barry Bryant
#40 Meriwether Court
Bluffton, SC 29910
843-301-3678
barry@bcbclub.com

February 24, 2021

Bluffton Township
c/o Will Howard

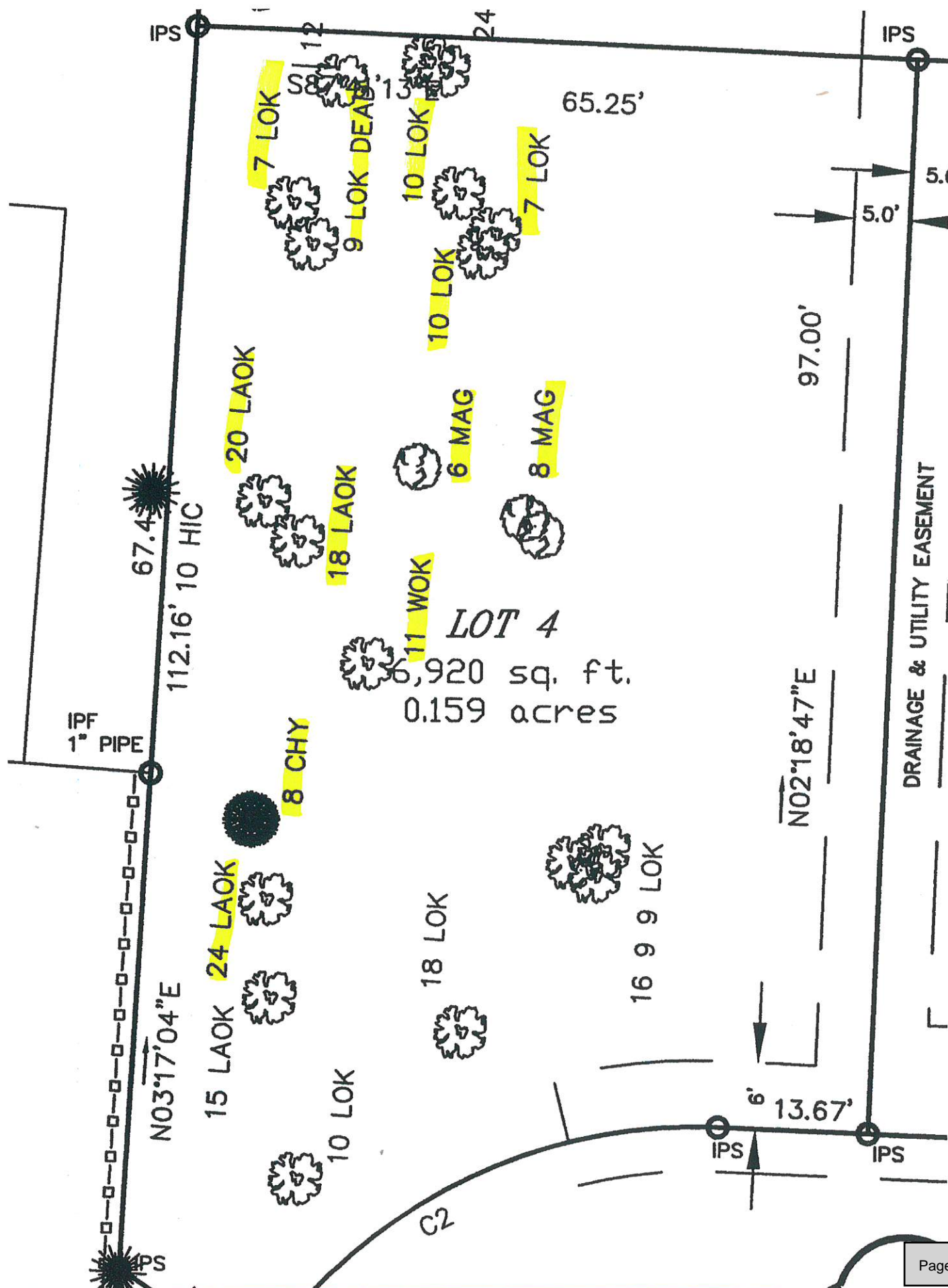
Hello,

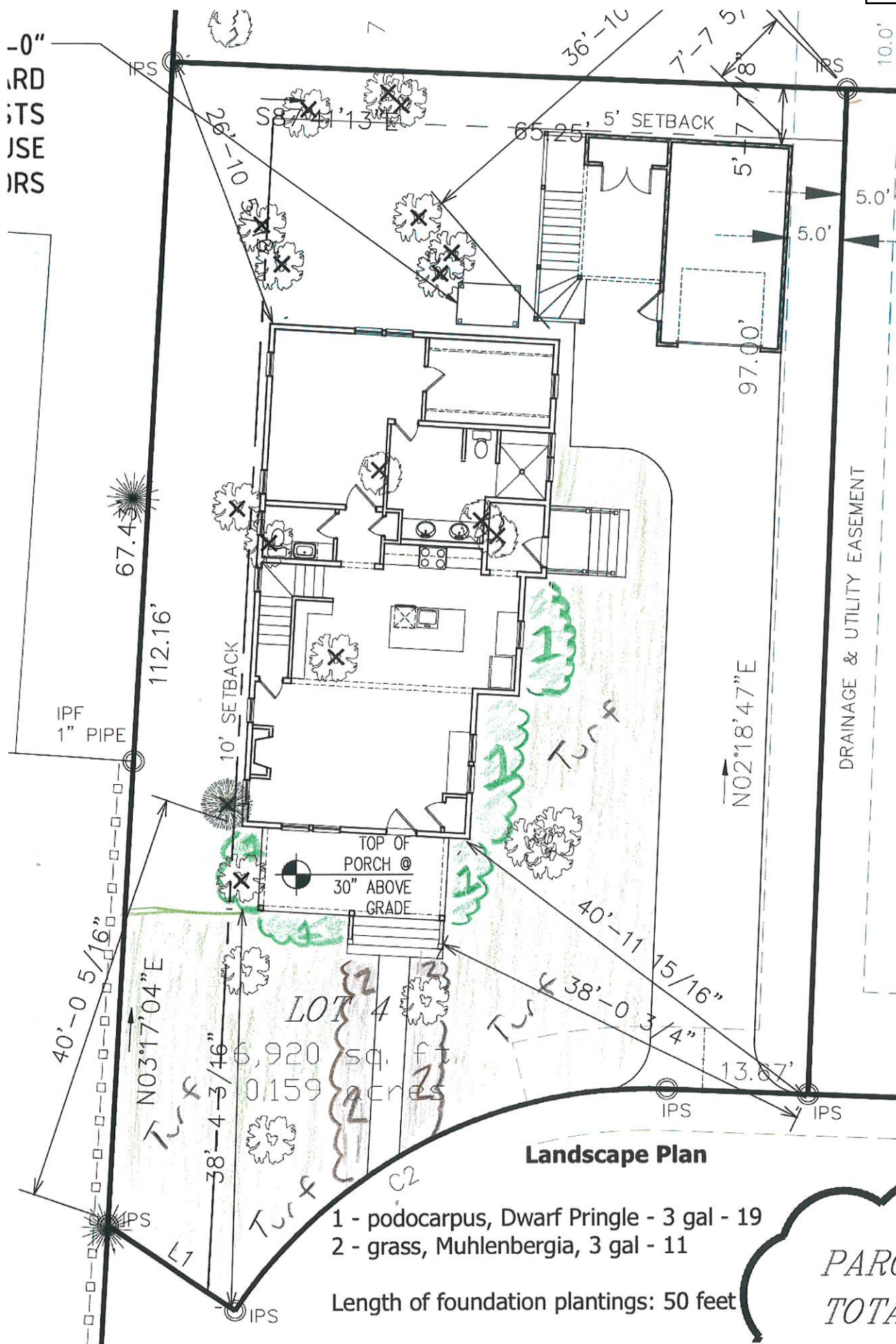
My name is David Tedford, I am a South Carolina State Certified Arborist and Tree Risk Assessment Qualified, serving Beaufort County since 1984. SO 5620A

Mr. Bryant has asked me to inspect three trees on said property, 18" D.B.H. Water Oak, 20" D.B.H. Water Oak, and 24" D.B.H. Water Oak. I have performed a level one tree risk assessment in accordance with the International Society of Arboriculture (I.S.A.). It is my opinion these three trees have no anchoring roots, only feeder roots, a shallow root system, hollow trunks and stumps, short lived, indigenous, storm prone to wind shear, are ready to fall over. These trees pose a direct hazard. I strongly support these removals, as well as replanting equal to or greater than green space lost.

Thank you,

David Tedford





PARC
TOTAL



PLAN REVIEW COMMENTS FOR COFA-06-21-015416

Section IX. Item #3.

Town of Bluffton

Department of Growth Management

20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910

Telephone 843-706-4522

Landen Oak

Plan Type: Historic District **Apply Date:** 06/02/2021

Plan Status: Active **Plan Address:** 30 Meriwether Ct Court
BLUFFTON, SC 29910

Case Manager: Katie Peterson **Plan PIN #:** R610 039 00A 0391 0000

Plan Description: A request BFL Builders for review of a Certificate of Appropriateness to allow the construction of a new two-story single-family residence of approximately 2,148 SF and a Carriage House of approximately 705 SF located at 30 Meriwether Court, identified as Lot 4 in the Landen Oaks development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.
STATUS 6-3-2021: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the June 28, 2021 meeting.

Staff Review (HD)

Submission #: 1 Recieved: 06/02/2021 Completed: 06/24/2021

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Growth Management Dept Review (HD)	06/24/2021	Katie Peterson	Approved with Conditions

Comments:

1. Application proposed square footage not provided. Update application to address proposed total square footage in Section 3 Building Data.
2. Doors are permitted to be wood, metal, or metal-clad. Wood composite material may be considered by the UDO Administrator for non-contributing structures, if it is determined that the door will be consistent with the character of the Historic District and the materials used are of equal or better quality than traditional building material. When reviewing substitute materials, they shall follow the Arm's Length Rule which states: Substitute materials may be used for materials noted, but their appearance must be indistinguishable from the original at arm's length or less, and their performance must exceed that of the original if they are to be used below the second floor. Further, A primary goal of this the architectural standards for the Historic District is authenticity. The standards encourage Bluffton vernacular architecture and construction which is straightforward and functional, and which draws its ornament and variety from the traditional assembly of genuine materials. The application proposes the use of Fiberglass doors, which are not permitted. Revise door material to be wood, metal, metal clad, or, with cut sheets and material samples, composite wood for review by the UDO Administrator. (UDO Section 5.15.6.I.2.b., 5.15.6.A. and Traditional Construction Patterns Sections 6 and 20)
3. The exposed foundation wall is noted as Tabby on the application, but not specified on the elevations. The UDO allows for the use of Mixed Shell Tabby only on exposed foundation walls. Specify the shell size proposed for use on exposed foundation. (UDO Section 5.15.6.G.1.a.)
4. As the project moves toward Final submittal, provide architectural details for the typical window, water table trim, and a landscape plan as not enough information was provided in the submittal to review for conformance with the UDO. Note that the landscape plan should include 8' of foundation plantings along the front of the primary structure, street trees every 50' of development, and show the canopy coverage for the site. (Applications Manual)
5. Rough sawn wood, plywood, and aluminum are not permitted for soffit or cornice detailing. The application proposes the use of T-111, a plywood material, in the soffit. Revise to a permitted material. (UDO Section 5.15.6.P.10.)
6. A Village House is a Detached Single Family Residence with a size range between 1,200 and 2,400 square feet. It has a maximum footprint of 1,100 SF not including porches, a height of 2-2.5 stories. It almost always has a front porch, shall be narrower along the street front than it is deep, is typically positioned close to one of the adjacent property lines, has a forward facing gable roof on the principal mass and is typically between 20 and 30 feet wide. The proposed structure exceeds the footprint by 41 SF, however meets all other criteria of a Village House. Village House structures in the Neighborhood General-HD zoning district have a front build-to of 10'-15', rear setback of 30', and side setbacks of 15'. The proposed structure exceeds the front build-to at 26', and proposes 10' side setback on the left and 29' on the right and 26' at the rear. As it meets the characteristics of a Village House, it must meet the setbacks, or the structure be reconfigured to a different building type. It should be noted that the Applicant is requesting an exception to the front Build-To line due to the large trees saved as part of the Development Plan. Exceptions to Build-to Lines may be granted by the UDO Administrator where existing significant natural features are present, to preserve protected trees and to preserve the integrity of neighboring historic resources. While the HPC may grant an exception from the Front Build-to, they do not have the ability to grant exceptions from the side and rear setbacks. (UDO Section 5.15.5.C. and 5.15.8.I. and 5.15.5.F.6.)
7. Provide additional information on the service yard area as not enough information was provided to determine materials and configuration. (Applications Manual)
8. Carriage House structures must be of the same general character as the primary structure. The proposed Carriage House is identical to the Carriage Houses proposed on Lots 5 and 6, but has different roof pitches, detailing and window patterns than the primary structure. Revise Carriage House detailing to have a better relationship with the primary structure. (UDO Section 5.15.8.F. and 5.15.5.F.4.b.)
9. With the exception of the porch roof shape, the proposed structure is identical to the structures proposed on 25 and 35 Meriweather Court. The Old Town Master Plan demands robust, complete neighborhoods. Houses included in a complete neighborhood are not just one type; they are a range of housing types that occur on a variety of lot sizes. In order to maintain the character of the neighborhood, provide visual variety, and maintain the diversity that has always characterized Bluffton, incorporate additional changes to the structure's appearance (Old Town Master Plan, UDO Section 5.15.1.C.)
10. For final submittal, consider providing a streetscape showing the proposed house with those nearby to clarify variation in the designs.

Watershed Management Review	06/22/2021	William Baugher	Approved with Conditions
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Comments:

1. At the time the Building Permit is submitted, a Stormwater Permit must also be submitted.

Building Safety Review	06/02/2021	Richard Spruce	Approved with Conditions
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Comments:

2 Jun 21 - RAS

The note about the guardrail shall be 36-inches above the walking surface if the deck is greater than 30-inches above grade. This is actually measured from the edge of the deck 3-feet horizontally and then down. If grade is greater than 30-inches at that point the guardrails are required to be at 36-inches.

Also the handrails on the stairs are required to extend from the top nose to the bottom nose of the stair. The plans show these falling short at the bottom.

Beaufort Jasper Water and Sewer Review	06/24/2021	James Clardy	Approved
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Comments:

1. No comments provided by reviewer.

HPRC Review

06/24/2021

Katie Peterson

Approved

Section IX. Item #3.

Comments:

1. No comments provided by reviewer.

Transportation Department Review
- HD

06/24/2021

William Howard

Approved

Comments:

1. No comments provided by reviewer.

Addressing Review

06/09/2021

Nick Walton

Approved

Plan Review Case Notes:



HISTORIC PRESERVATION COMMISSION

STAFF REPORT Department of Growth Management

MEETING DATE:	August 4, 2021
PROJECT:	35 Meriwether Court, Lot 5 – New Construction: Single-Family Residential
APPLICANT:	BFL Builders
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, BFL Builders, requests that the Historic Preservation Commission approve the following application:

1. **COFA-06-21-015419.** A Certificate of Appropriateness to allow the construction of a new 1.5-story single-family building of approximately 2,113 SF and a Carriage House of approximately 704 SF located at 35 Meriwether Court, identified as Lot 5 in the Landen Oaks Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

INTRODUCTION: The Applicant is proposing the construction of a detached single-family residence located in the Old Town Bluffton Historic District. The proposed building, of approximately 2,113 SF, has similar attributes of the Village House, but is 1.5-stories in height, so it is reviewed as an Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. In addition to the primary structure, the Applicant is proposing a Carriage House structure of approximately 704 SF, which meets the design standards for a Carriage House Building Type.

The one and a half story structure is primarily under a forward facing gable. It has a small gabled bump-out on the right side, and the area at the rear of the house, which is not under the second story, is under a hipped roof. It has full façade front porch with a shed roof. The proposed materials include vertical Board and Batten Hardie siding with vertical V-Joint tongue and groove in the gable ends. It features asphalt shingle roofing, uses traditional water table and corner board details. The Carriage House features a gable roof of the same pitch as the primary structure, the same siding patterns, and trim detailing.

This project was presented to the Historic Preservation Review Committee for conceptual review at the June 28, 2021 meeting and comments were provided to the Applicant (See attachment 6).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant proposes to construct a new single-family residence and Carriage House within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The buildings have been designed to be sympathetic to the architectural character of the neighboring historic structures, so their addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structure and Carriage House add to the district as well as help provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building Type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final determination regarding the appropriateness of the Additional Building Type.
 - b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
 - 1) Section 5.3.7.D. Lot Landscaping. All lots, except active recreation areas requiring open area that are part of a school or public park, shall contain sufficient landscaping, either existing or planted, to have a minimum of 75 percent lot coverage with tree canopy measured as the mature canopy, not including building rooftops. The lot is largely without trees. The Landscape Plan shows the addition of two trees, a Live Oak and Dogwood at the front of the lot, which will count as Street Trees and towards the canopy cover for the lot. While it appears the canopy coverage requirements may be met with the trees planted at the front and the Magnolia and Live Oak at the rear of the lot to remain, not enough information has been provided to ensure it meets the canopy cover requirements. Provide a revised Landscape Plan which shows the canopy coverage calculations to ensure compliance with this requirement.
 - 2) Section 5.15.5.F.4. Building Composition (Proportion, Alignment, Rhythm, and Spacing). Overall building proportions and individual features shall have a proportional relationship with one another. Further, Traditional Construction Patterns Section 31 states that windowpanes should be similarly proportioned throughout an entire building. The primary structure proposes the use of four different window sizes, each with different proportions. The Carriage House proposes five, none of which overlap with those proposed on the primary structure. The number of window and door proportions must be reduced to the fewest number reasonable to provide a better proportional relationship between

the elements.

- 3) Section 5.15.6.F.10. Service Yards. The height of the service yard enclosure shall be sufficient to screen equipment from public vantages; however, may not exceed six (6') feet in height. The Site Plan shows the proposed location of the service yard, but it is not shown on the elevations. Provide a service yard detail depicting the materials and dimensions of the proposed service yard area.
 - 4) Section 5.15.6.H.2. Columns, Arches, Piers, Railings, Balustrades. Railings and balusters shall be wood (termite resistant), painted or natural wrought or cast iron. Top Rail: 2-3/4". Minimum diameter; Balusters: 4" o.c. spacing minimum, 5" o.c. spacing maximum. The porch detail shows the guard railings surrounding the porch but does not include information on the handrail or the stairs on the Carriage House. Provide a railing and detail, which includes a handrail extending from the top nose to the bottom nose of the stair.
 - 5) Section 5.15.6.I. Windows and Doors. Snap in muntins or mullions, and muntins between the glass are not recommended. Windows with true divided lite or simulated divided lite are encouraged. Muntins are shown in the windows, but not enough information was provided for review. Provide a typical window detail.
 - 6) Section 5.15.6.N. Corners and Water Tables. Water Table trim shall include drip boards with a minimum 5/4 stock with a bevel (any exposed flashing must be copper or match color of water table) and beyond any skirt trim. Skirt boards shall be a minimum 5/4 stock and be furred out to sit just beyond the face of the foundation wall (after finish foundation material is applied, i.e. brick, stucco). The Lap Siding Detail (A5.0) shows the 8" minimum foundation reveals with no water table or baseboard and no use of a water table trim. The elevations for the Carriage House show this detail; however, the primary structure, which is required to be raised 30" at the porch, 3' at finished floor, shows a water table. Provide a water table detail for review.
 - 7) Section 5.15.6.P. Cornice, Soffit and Frieze. Rough sawn wood, plywood and aluminum are not permitted materials for soffit or cornice detailing. The elevations show the use of T-111, a plywood material, in the soffit. The soffit material must be revised to a permitted material.
3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. The Old Town Bluffton Historic District embodies a diverse community character. Structures range from stately homes, unique shops, historic structures nestled among new construction infill. The proposed building plans for 30 and 35 Meriwether Court have made changes to the designs including siding and roof material, porch configuration, and window patterns on the front elevations. While these changes go a long way to provide differentiate to the structures, Staff recommends the Applicant consider additional changes which could include excluding the tongue in groove in the eave of one structure, changing the spindle pattern on the porch of one of the structures, and/or foundation detailing to be more representative of the architectural diversity of Old Town Bluffton Historic District.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of new structures in the Old Town Bluffton Historic District. If the conditions section 2 of this report are met, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, with the revisions noted, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete.

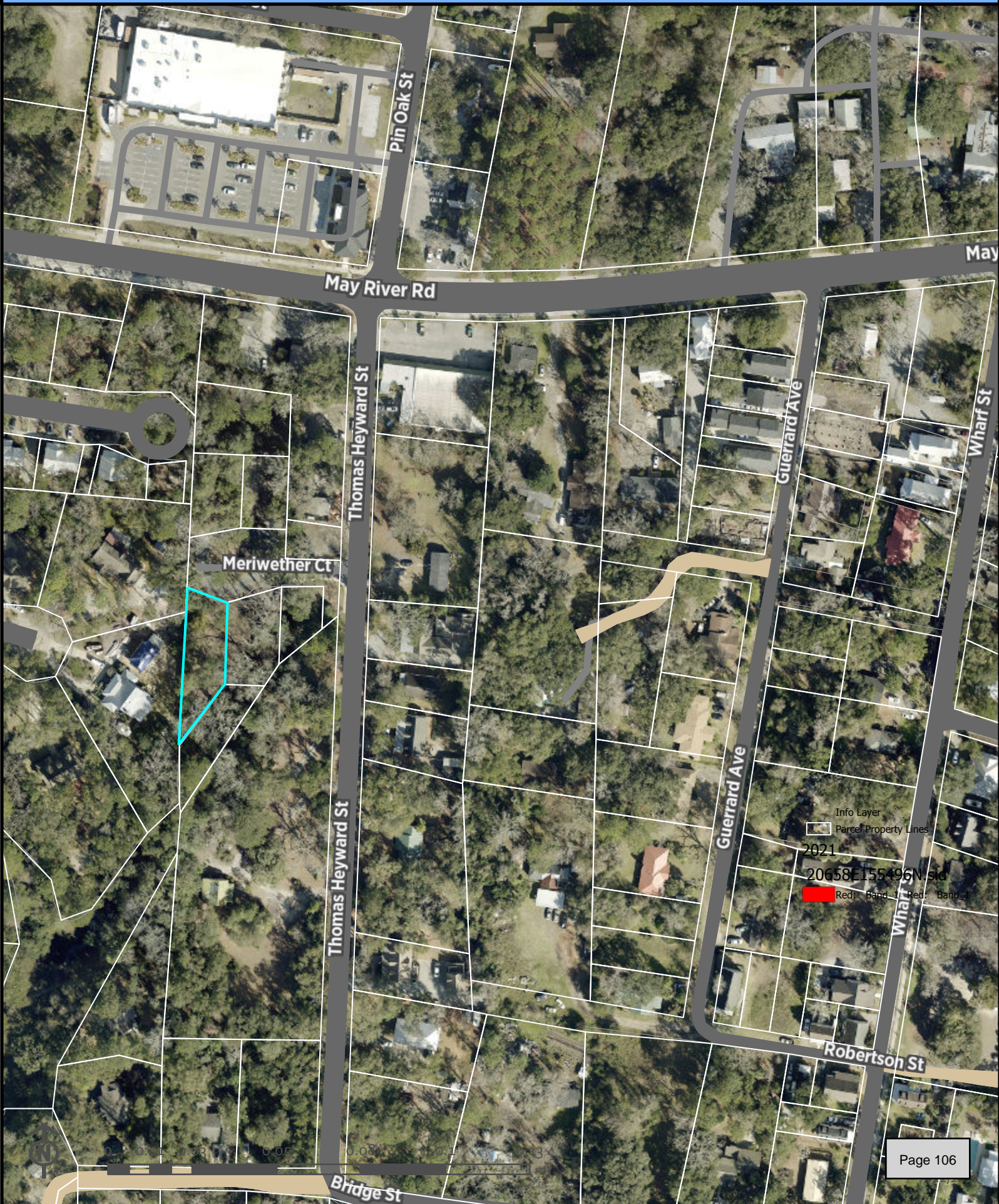
STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

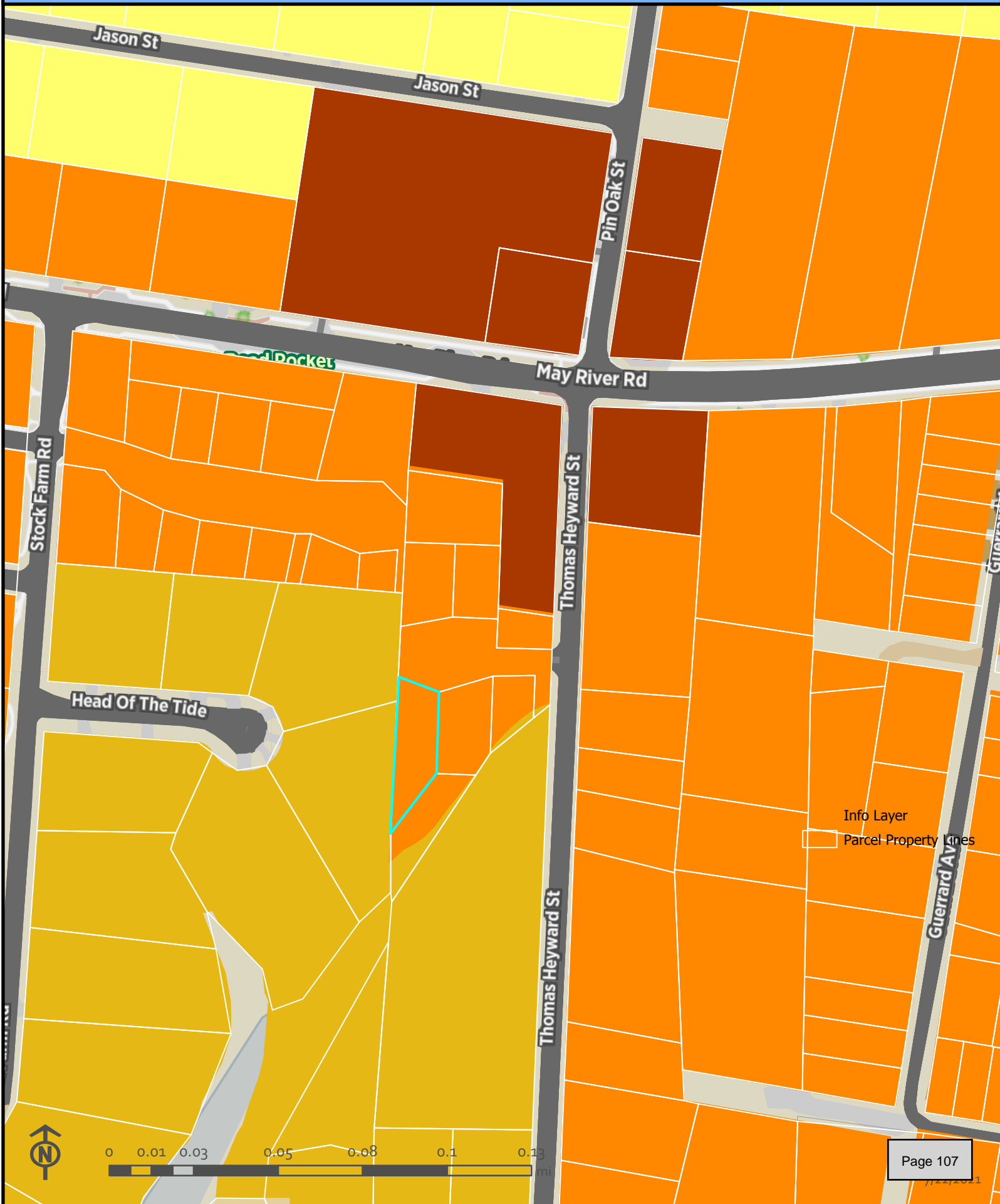
1. Per Section 3.18.3.D., the additional architectural changes should be made to be more representative of the architectural diversity of Old Town Bluffton Historic District.
2. Per Section 5.3.7.D., provide revised landscape plan with updated canopy coverage calculations.
3. Per Section 5.15.5.F.4., and Traditional Construction Patters Sections 31 and 32, number of window and door proportions must be reduced provide a better proportional relationship between the elements.
4. Per Section 5.15.6.F.10., provide material and dimensional information on the proposed service yard area.

5. Per Section 5.15.6.H., provide a railing and detail, which includes a handrail extending from the top nose to the bottom nose of the stair.
6. Per Section 5.15.6.I., a typical window detail showing the muntin configuration must be provided for review.
7. Per Section 5.15.6.N., provide a water table detail for the primary structure.
8. Per Section 5.15.6.P., the T-111 plywood soffit material in the soffit must be revised to a permitted material.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Application
4. Site Plan & Elevations
5. Landscape Plan & Canopy Coverage
6. HPRC Report







TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION

ATTACHMENT 2

Section IX. Item #4.

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4522
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: BFL Builders		Name: Same	
Phone: 843.473.3679		Phone:	
Mailing Address: Box 21484 HHI, SC 29925		Mailing Address:	
E-mail: barry@hhrandr.com		E-mail:	
Town Business License # (if applicable):			
Project Information (tax map info available at http://www.townofbluffton.us/gis/)			
Project Name: Landen Oak Subdivision - Lot 5	Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Location: 35 Meriwether Court	Application for:		
Zoning District: NG-HD	<input checked="" type="checkbox"/> New Construction		
Acreage: .192	<input type="checkbox"/> Renovation/Rehabilitation/Addition		
Tax Map Number(s): R610 039 00A 0392 0000	<input type="checkbox"/> Relocation or Demolition		
Project Description: Single family residential home with detached garage and ADU above.			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Full sized copies and digital files of the Site Plan(s). One (1) set for Conceptual, two (2) sets for Final			
<input checked="" type="checkbox"/> 2. Full sized copies and digital files of the Architectural Plan(s). One (1) set for Conceptual, two (2) sets for Final			
<input checked="" type="checkbox"/> 3. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Barry L. Barry</i>		Date: June 2, 2021	
Applicant Signature: <i>Barry L. Barry</i>		Date: June 2, 2021	
For Office Use			
Application Number: COFA - 06-21- 015419		Date Received: 7/9/21	
Received By: <i>R. Brinillo</i>		Date Approved:	



TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE			CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA						
Identification of Proposed Building Type (as defined in Article 5): Additional Building Type						
Building Setbacks	Front: 40'	Rear: 28'	Rt. Side: 40'	Lt. Side: 10'		
3. BUILDING DATA						
Building	Description (Main House, Garage, Carriage House, etc.)		Existing Square Footage		Proposed Square Footage	
Main Structure	Main House				2,113	
Ancillary	Garage with ADU above				unfinished	
Ancillary						
4. SITE COVERAGE						
Impervious Coverage			Coverage (SF)			
Building Footprint(s)			1,326 (main house) 352 (garage)			
Impervious Drive, Walks & Paths			0			
Open/Covered Patios			0			
A.TOTAL IMPERVIOUS COVERAGE			1,458			
B.TOTAL SF OF LOT			8,370			
% COVERAGE OF LOT (A/B= %)			17%			
5. BUILDING MATERIALS						
Building Element	Materials, Dimensions, and Operation		Building Element	Materials, Dimensions, and Operation		
Foundation	Concrete w/brick facing		Columns	pressure treated 2x6		
Walls	2x6 w/Hardie smooth siding		Windows	vinyl		
Roof	asphalt shingle		Doors	Solid wood		
Chimney	n/a		Shutters	n/a		
Trim	Hardie smooth		Skirting/Underpinning	Tabby		
Water table	5/4 x 10 Hardie		Cornice, Soffit, Frieze	Hardie		
Corner board	5/4 x 6 Hardie		Gutters	Half round metal		
Railings	pressure treated 2x2		Garage Doors	aluminum overhead		
Balusters	pressure treated 2x2		Green/Recycled Materials			
Handrails	2x8					



CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS-HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT APPLICATION CHECKLIST

<input type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION:
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded):
<input type="checkbox"/>	<input type="checkbox"/>	PRELIMINARY DEVELOPMENT PLAN APPLICATION: Submit a Preliminary Development Plan Application along with all required submittal items as depicted on the application checklist.

**SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL
ALL SUBMITTALS MUST BE COLLATED AND FOLDED TO 8-1/2" X 11"**

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Barry L Bryant

July 8, 2021

Signature of Property Owner or Authorized Agent

Date

Barry L Bryant

Printed Name

Lot 5 - 35 Meriwether Court

Project Narrative

Landen Oak subdivision consists of 6 single family residential building lots located off Thomas Hayward Street approximately 100 yards from its intersection with Route 46 in Old Town Bluffton. It is located within the Town of Bluffton's Neighborhood General Historic District (NG-HD) zoning classification. BFL Builders, the applicant, purchased 5 of the building lots and the common areas from Bluffton Development Group in January 2021.

BFL Builders intends to construct 5 single family residences with detached garages on these lots during 2021 and 2022.

Lot 5 is a lightly treed 8,370 square foot (.192 acre) lot located at the left rear of the subdivision between lot 6 and the border with Stock Farm subdivision. BFL Builders plans to construct a 2,113 square foot 2 story main house and detached 1.5 car garage located at the rear of the lot. This house will fall under the "Additional Building Type" classification within the NG-HD district's design standards as defined in section 5 of the Unified Development Ordinance (UDO).

BFL Builders will construct a 2 story, 2,113 square foot main house with a brick faced concrete foundation, gabled asphalt shingle roof, smooth cement fiber siding, vinyl clad windows and a solid wood entry door. In order to differentiate between the houses next door and across the street, the vertical board and batten siding will be unique to this home, the entry door will be 8' in height, there will be 3 windows on the front of the home, an extra porch column will be added, the front steps will be narrower and the foundation detail will not be repeated on either of the other two homes.

To the rear of the main house and accessed via a pervious gravel driveway will sit a 1.5 car garage with unfinished ADU above. This garage will be built in a similar manner and style as the main house.

issued for:	issued date:

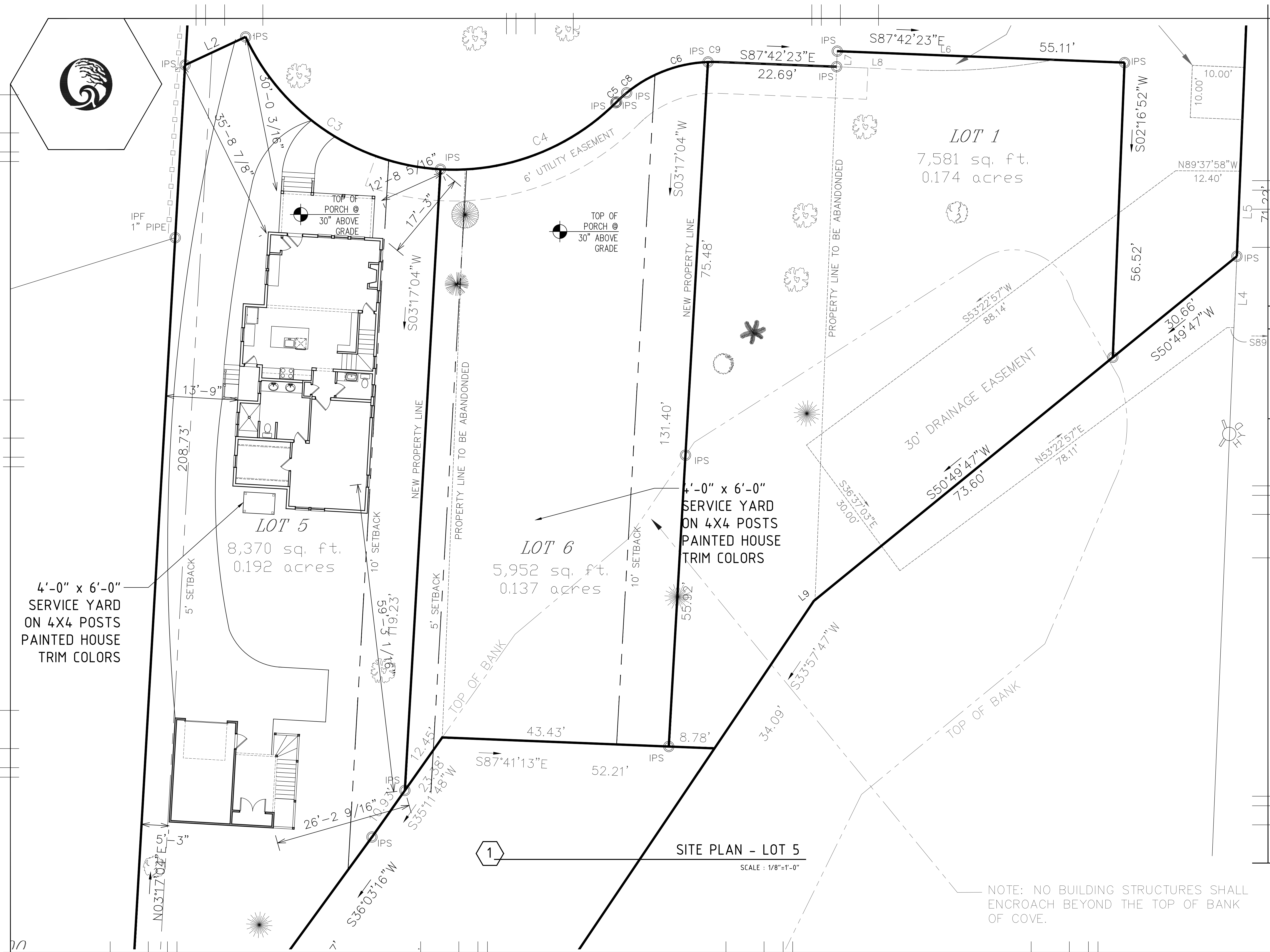


PHONE: 901.949.2568
EMAIL: travis@quirks.global
web: www.quirks.global

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PROJECT:

LANDEN OAKS
AVA'S COTTAGE
BLUFFTON, SC



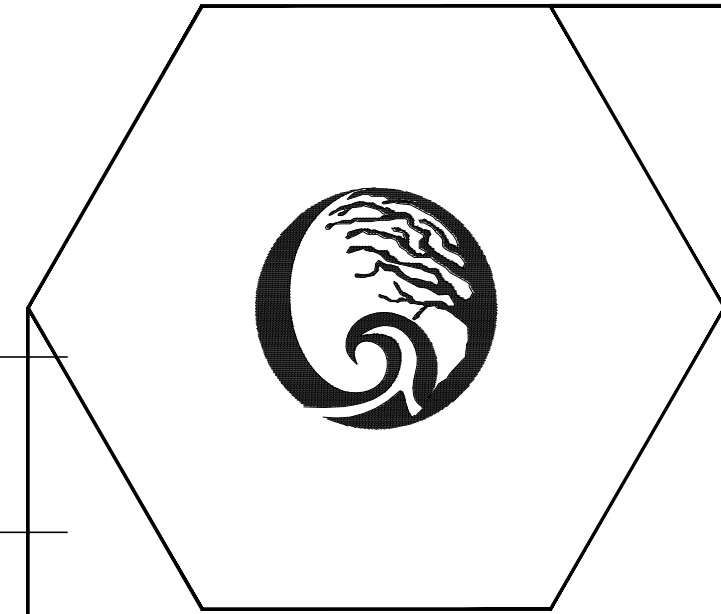
SITE PLAN - LOT 5

SCALE : 1/8"=1'-0"

quirks PROJECT # LOM.01

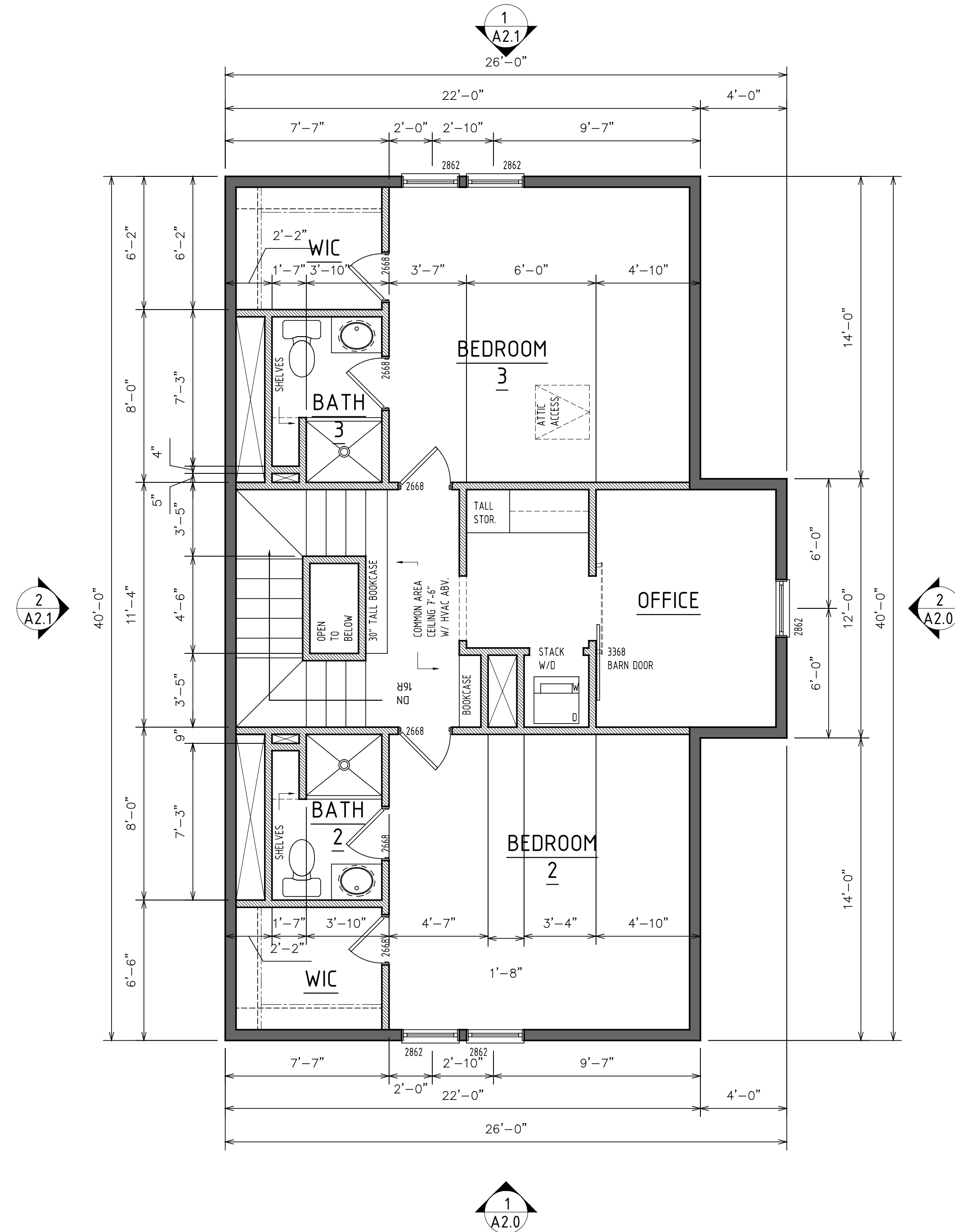
C1.0

SITE PLAN
LOT 5



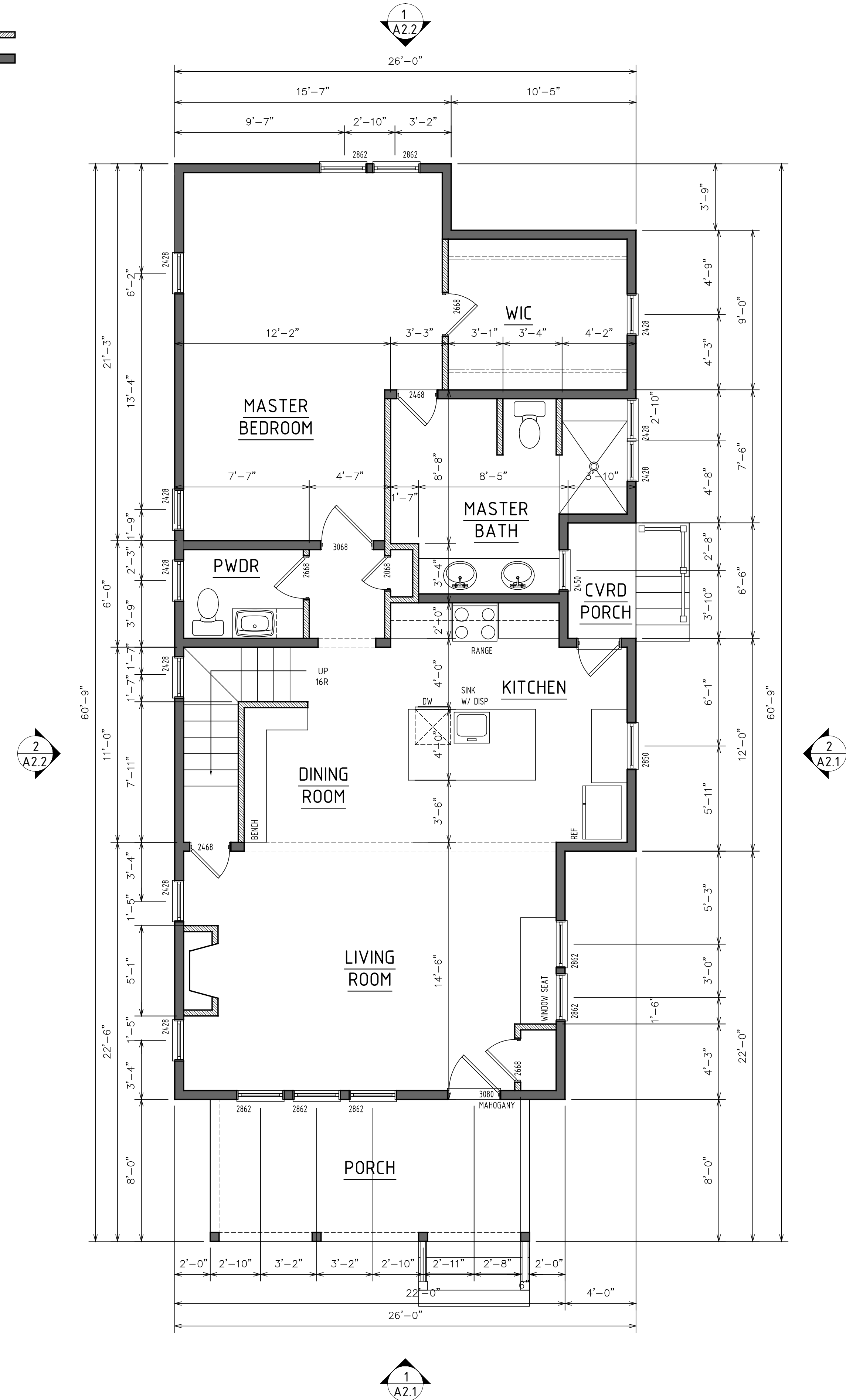
SQUARE FOOTAGE	
FIRST FLOOR HEATED	1,251 SF.
SECOND FLOOR HEATED	862 SF.
TOTAL:	2,113 SF.

WALL LEGEND	
2X4 FRAMING	
2X6 FRAMING	



SECOND FLOOR - LOT 5

SCALE : 1/4"=1'-0"



FIRST FLOOR - LOT 5

SCALE : 1/4"=1'-0"

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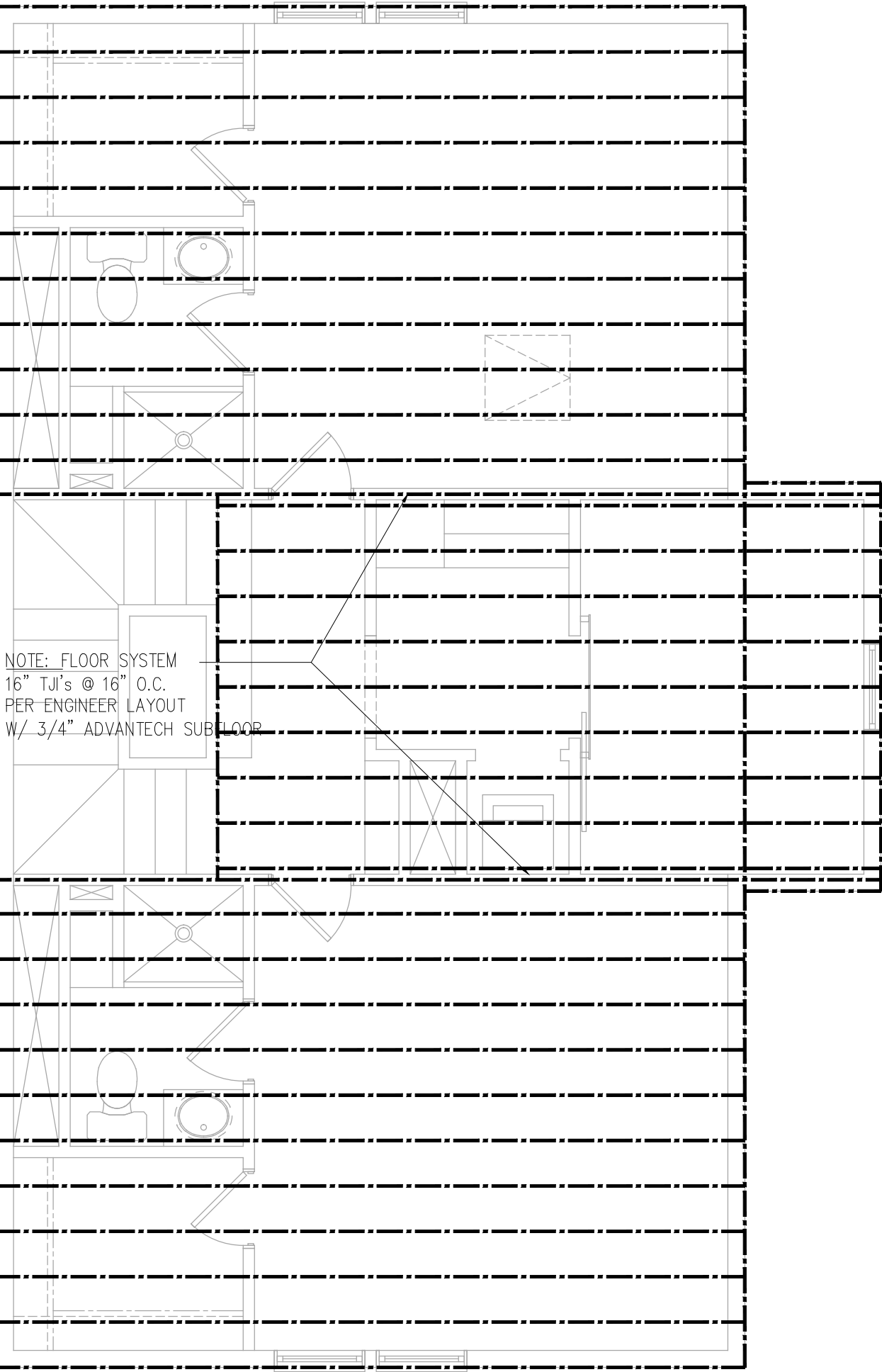
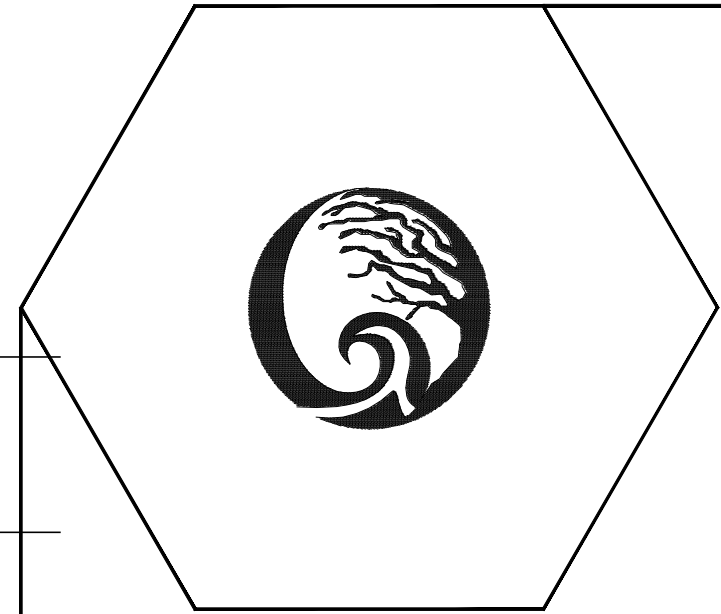
PROJECT:

LANDEN OAKS
AVA'S COTTAGE
BLUFFTON, SC

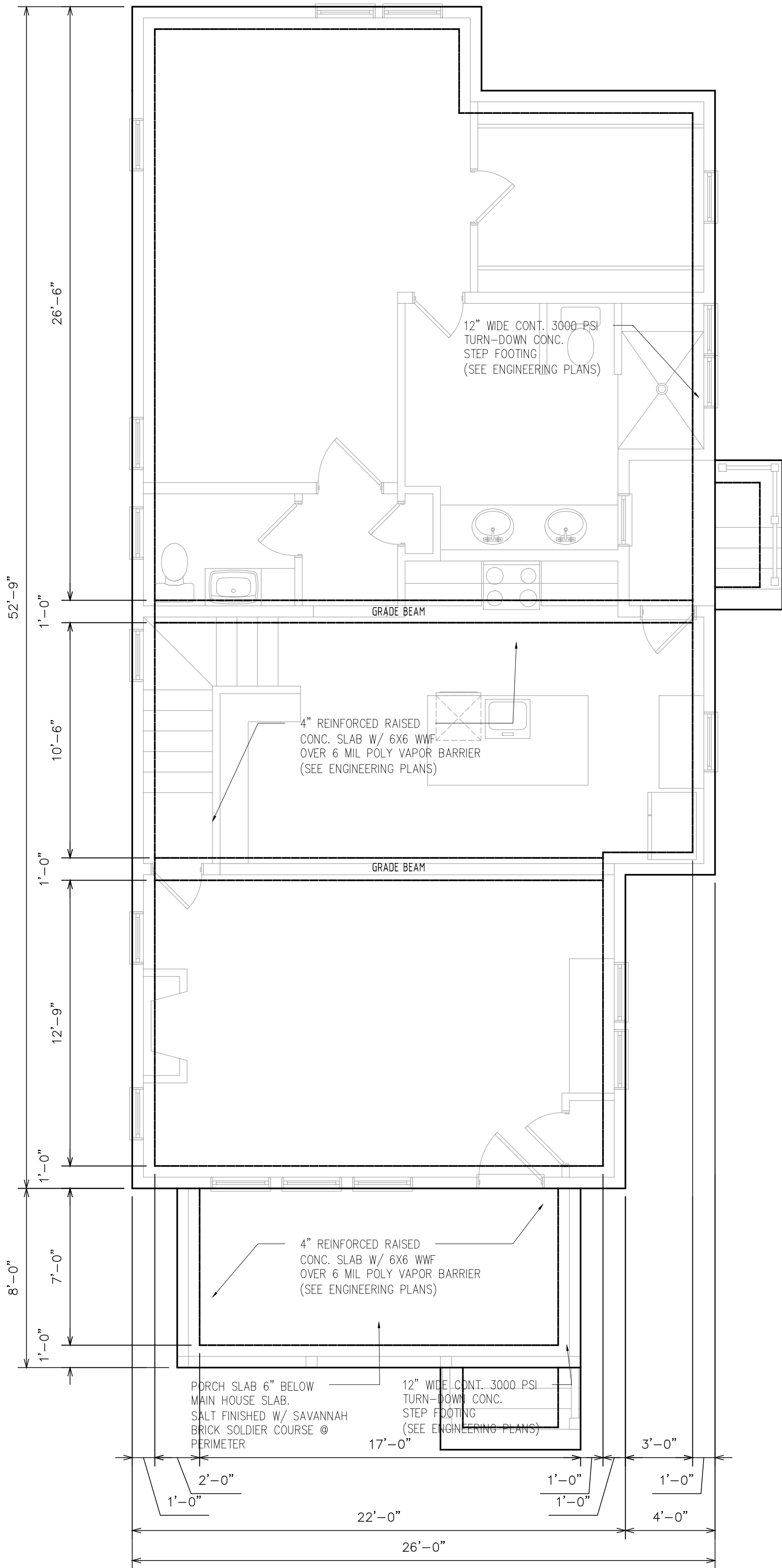
quirks PROJECT # LOM.01

A1.0

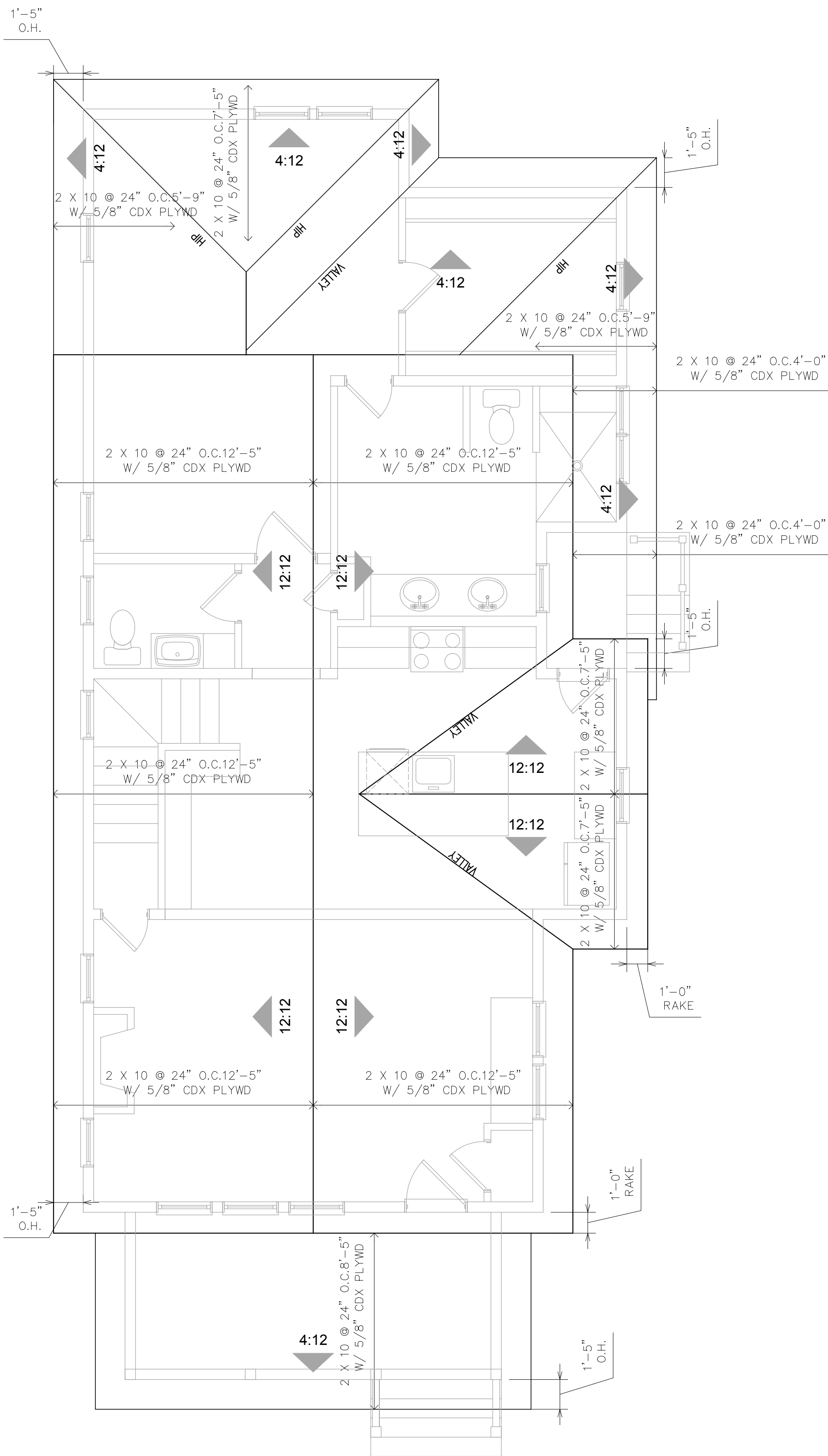
FLOOR PLANS
LOT 5



3 SECOND FLOOR FRAMING PLAN - LOT 5
SCALE : 1/4"=1'-0"



2 FOUNDATION PLAN - LOT 5
SCALE : 1/4"=1'-0"



1 ROOF PLAN - LOT 5
SCALE : 1/4"=1'-0"

issued for:	issued date:



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EMAIL:travis@quirks.global
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PROJECT:

LANDEN OAKS
AVA'S COTTAGE
BLUFFTON, SC

quirks PROJECT # LOM.01

A1.1
ROOF, FOUNDATION,
& FRAMING PLANS
LOT 5

issued for:	issued date:

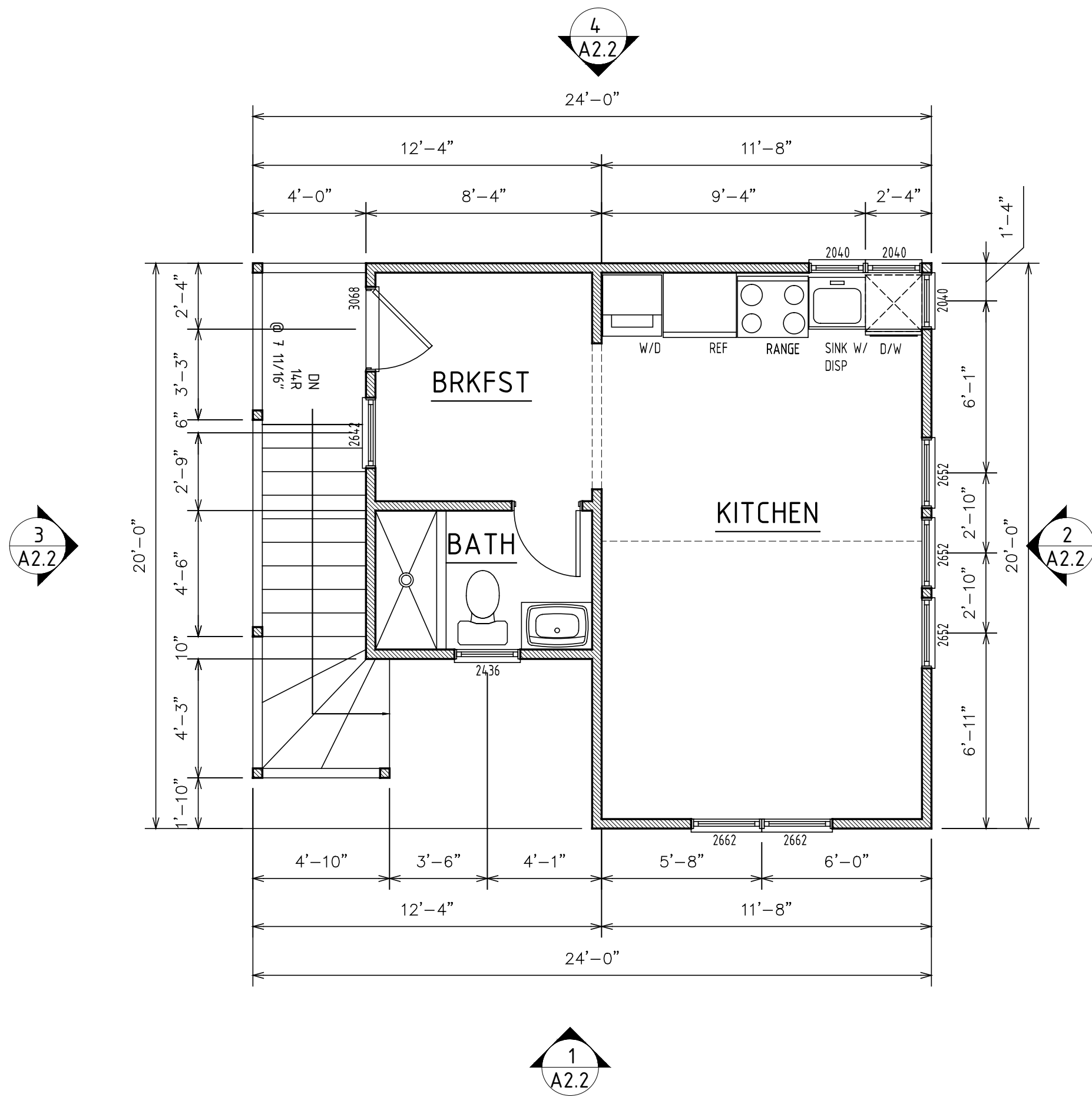


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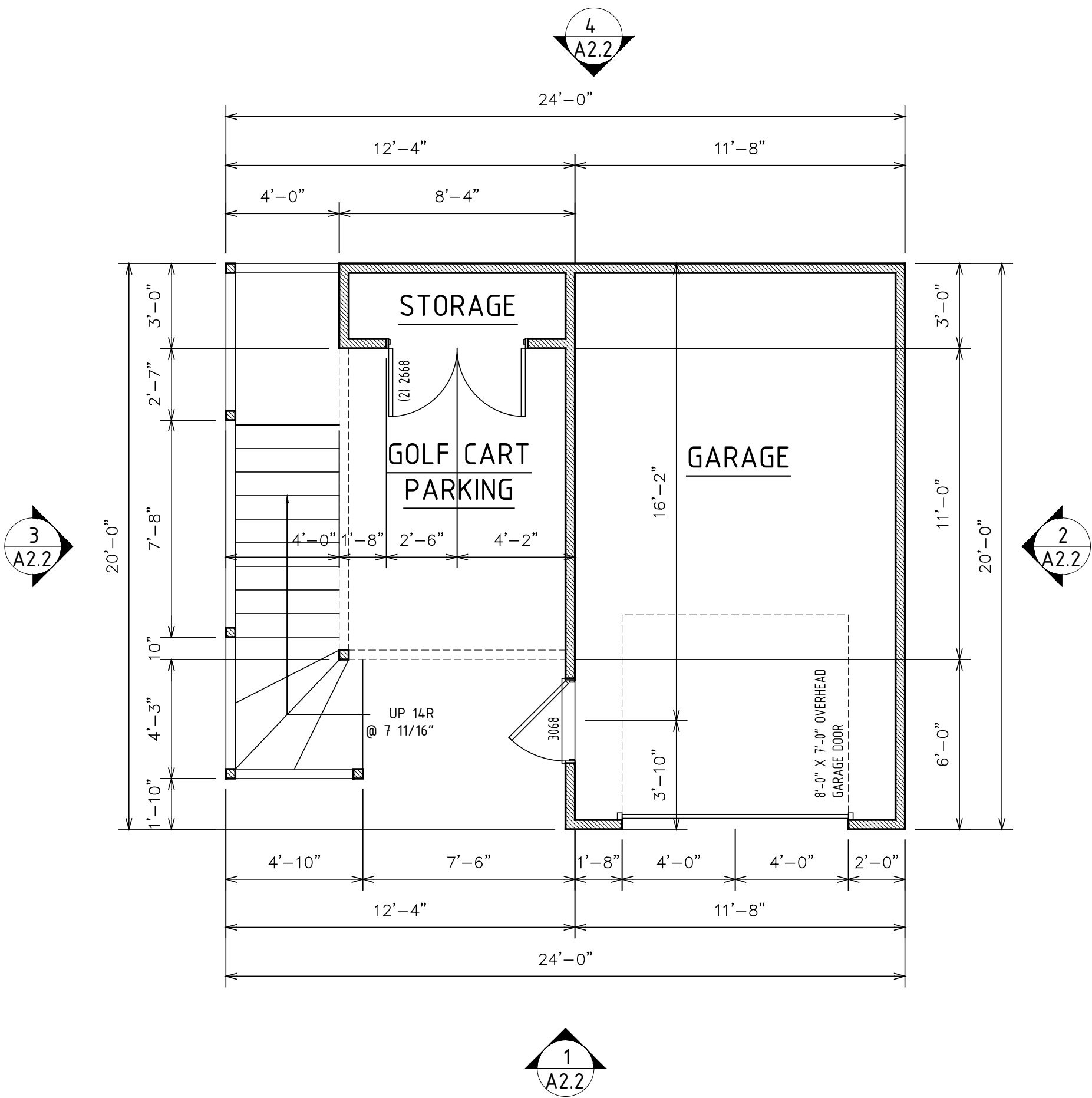
PROJECT:

LANDEN OAKS
AVA'S COTTAGE
BLUFFTON, SC



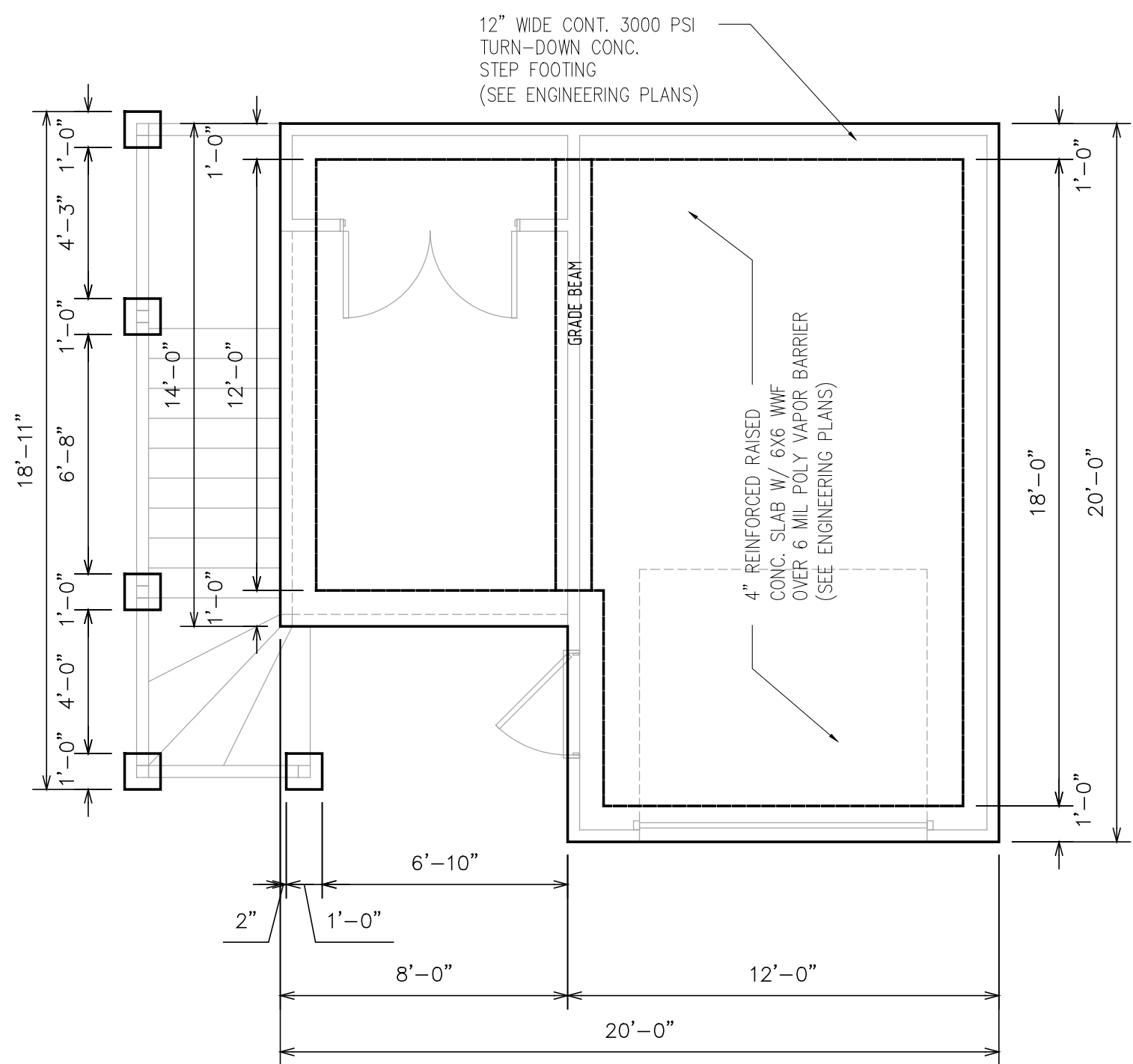
SECOND FLOOR - LOFT

SCALE : 1/4"=1'-0"



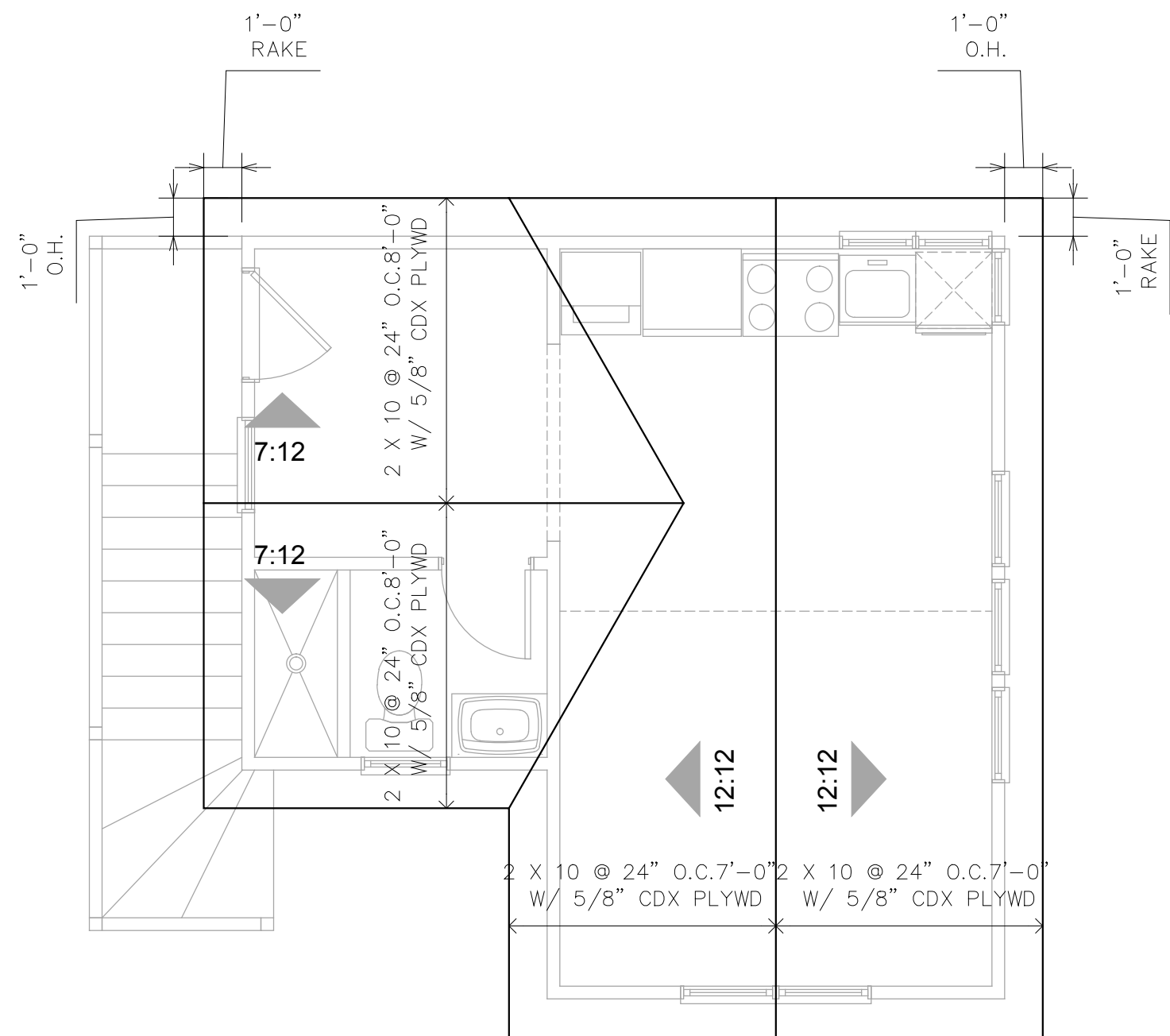
GROUND FLOOR - GARAGE/STORAGE

SCALE : 1/4"=1'-0"



FOUNDATION PLAN

SCALE : 1/4"=1'-0"



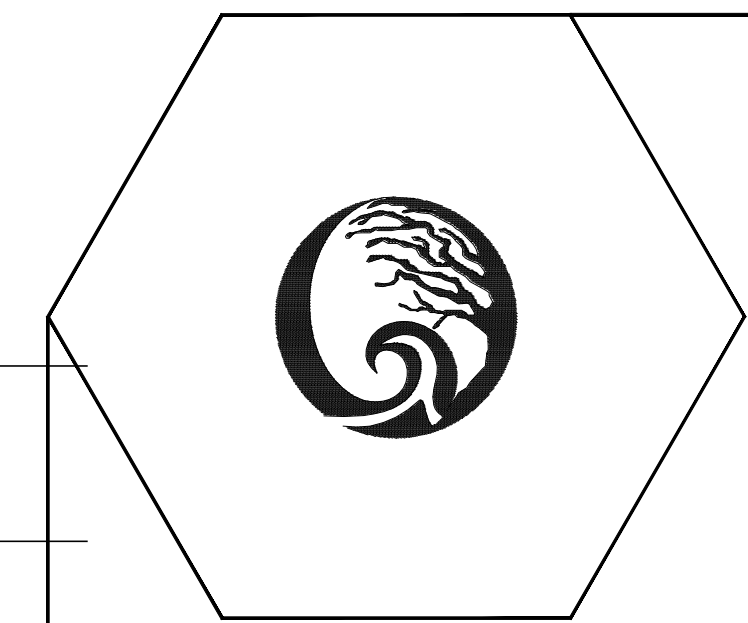
ROOF PLAN

SCALE : 1/4"=1'-0"

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A1.2

GARAGE PLANS



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EMAIL: travis@quirks.global
web: www.quirks.global

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PROJECT:

LANDEN OAKS
AVA'S COTTAGE
BLUFFTON, SC



RIGHT ELEVATION - LOT 5

SCALE : 1/4"=1'-0"



FRONT ELEVATION - LOT 5

SCALE : 1/4"=1'-0"

quirks PROJECT # LOM.01

A2.0

ELEVATIONS
LOT 5

issued for:	issued date:



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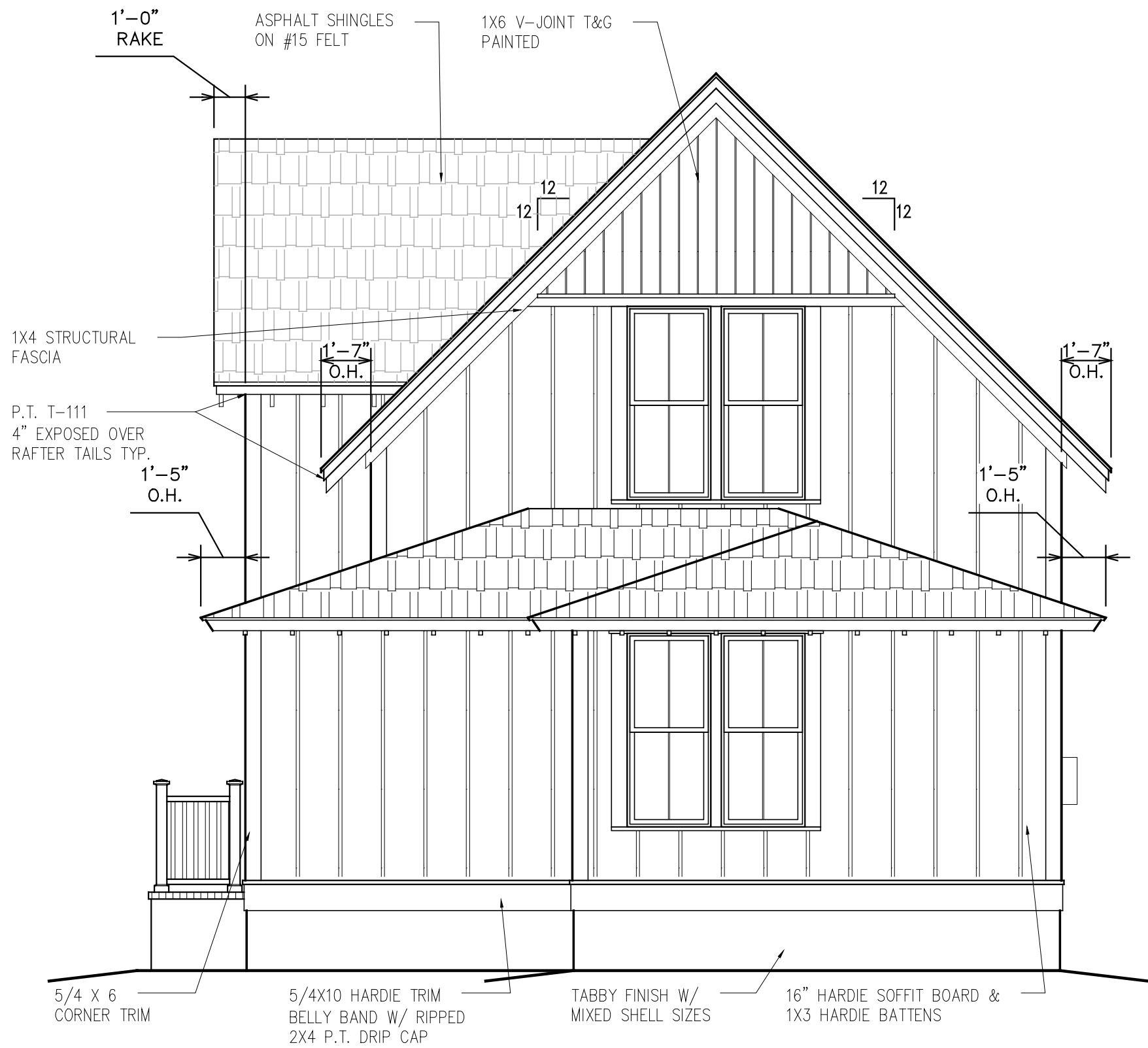
PROJECT:

LANDEN OAKS
AVA'S COTTAGE
BLUFFTON, SC



LEFT ELEVATION - LOT 5

SCALE : 1/4"=1'-0"



REAR ELEVATION - LOT 5

SCALE : 1/4"=1'-0"

quirks PROJECT # LOM.01

A2.0

ELEVATIONS
LOT 5

issued for:	issued date:



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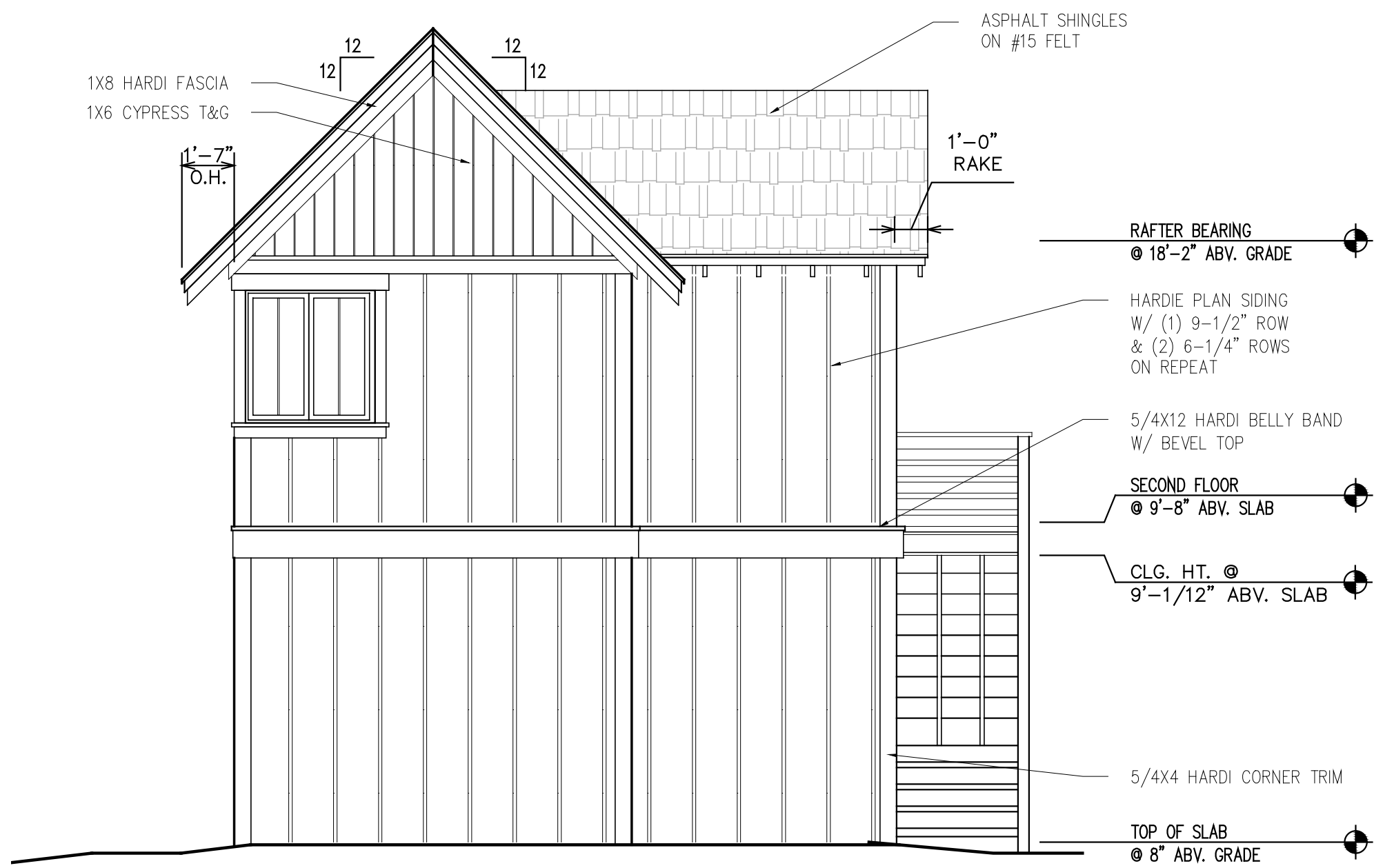
PROJECT:

LANDEN OAKS
AVA'S COTTAGE
BLUFFTON, SC

quirks PROJECT # LOM.01

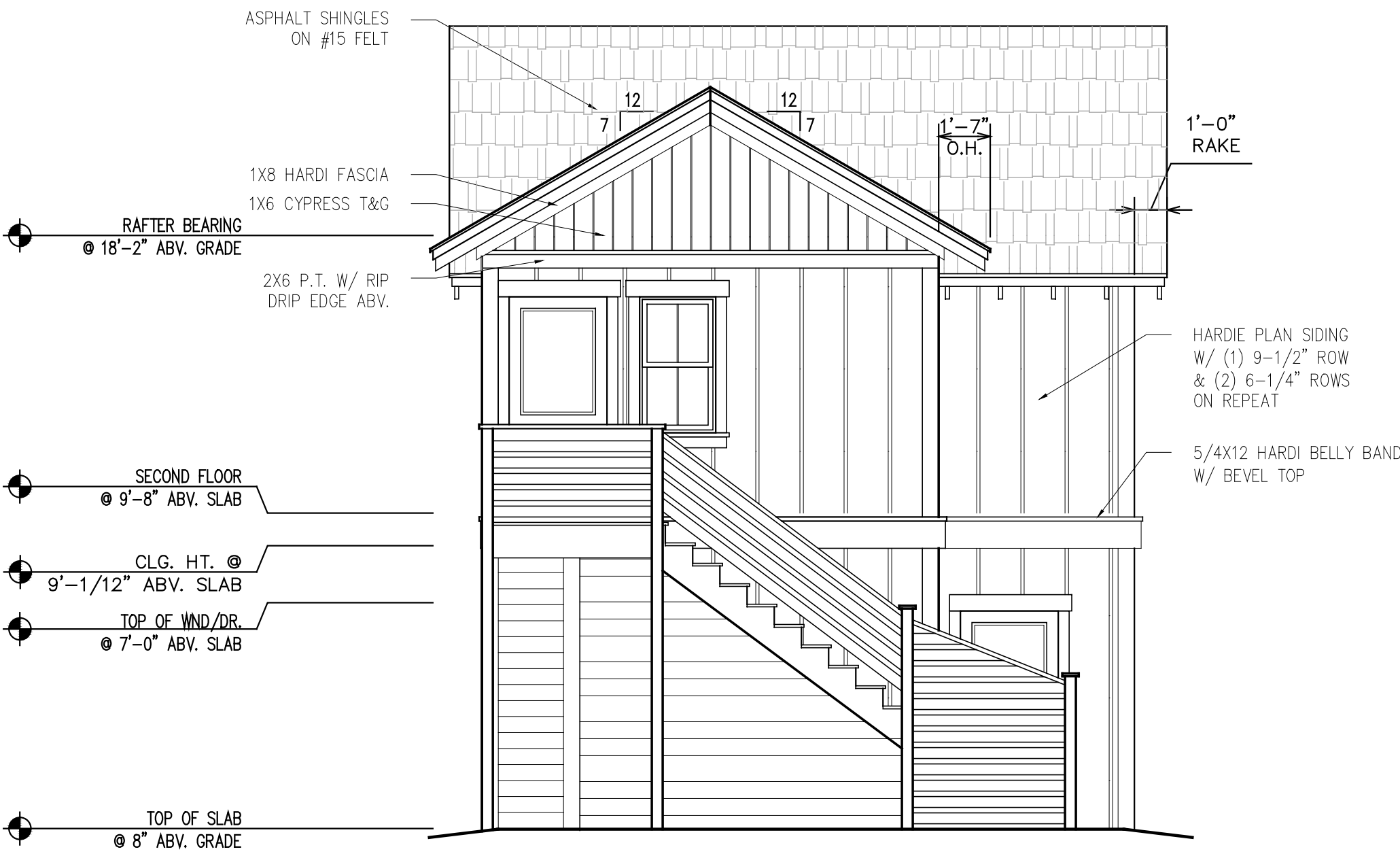
A2.2

GARAGE/LOFT
ELEVATIONS



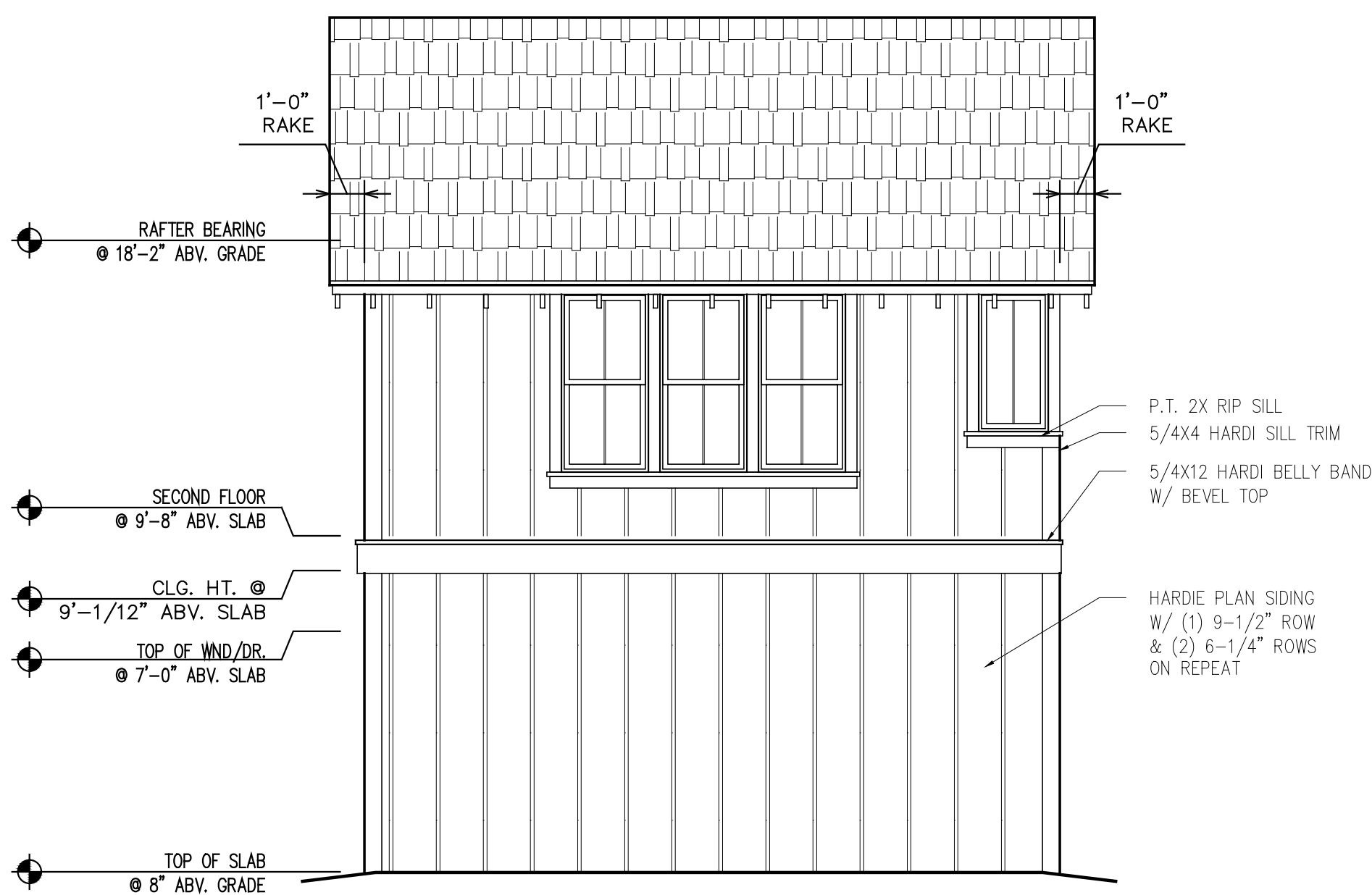
REAR ELEVATION

SCALE : 1/4"=1'-0"



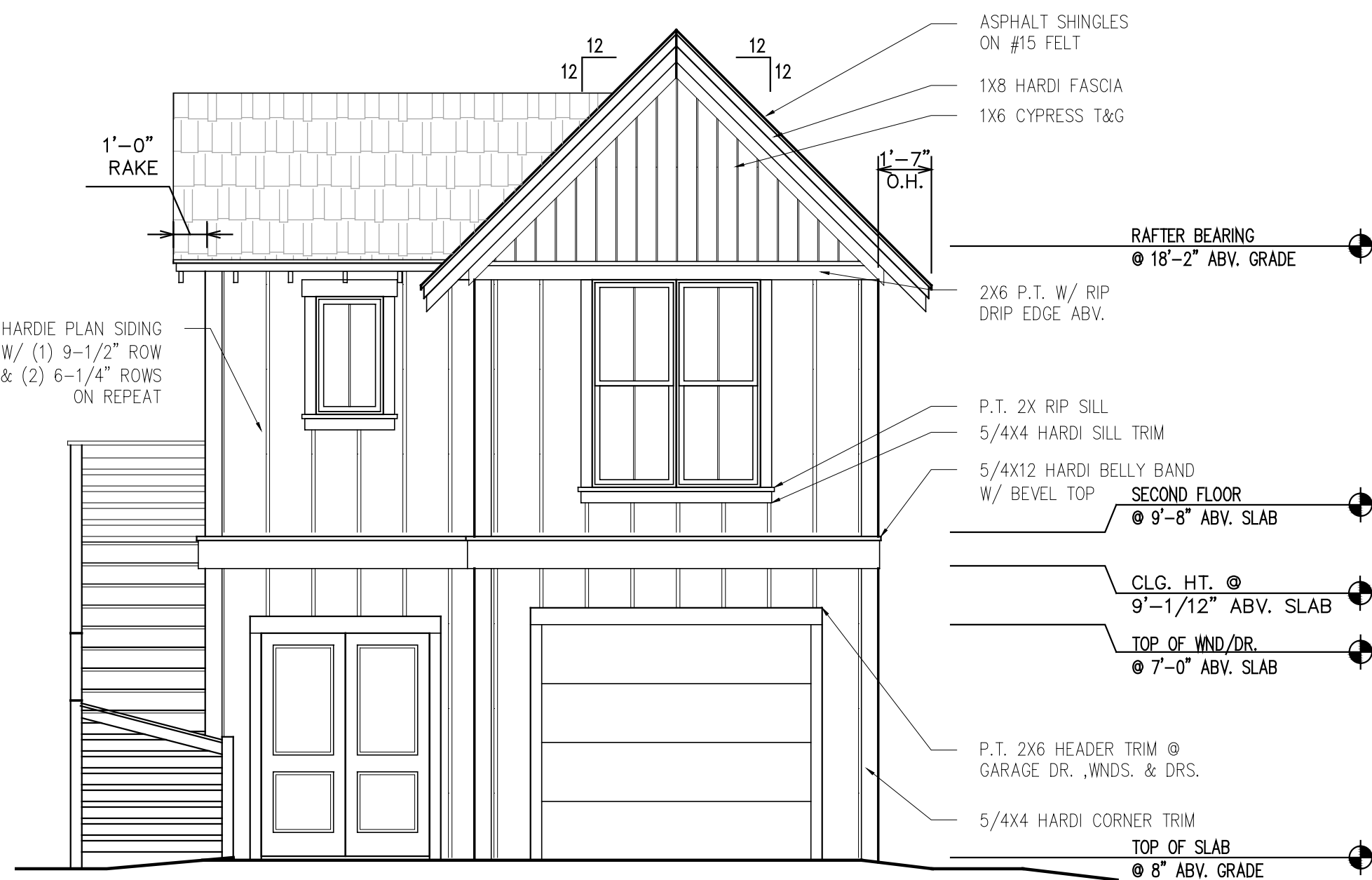
LEFT ELEVATION

SCALE : 1/4"=1'-0"



RIGHT ELEVATION

SCALE : 1/4"=1'-0"



FRONT ELEVATION

SCALE : 1/4"=1'-0"

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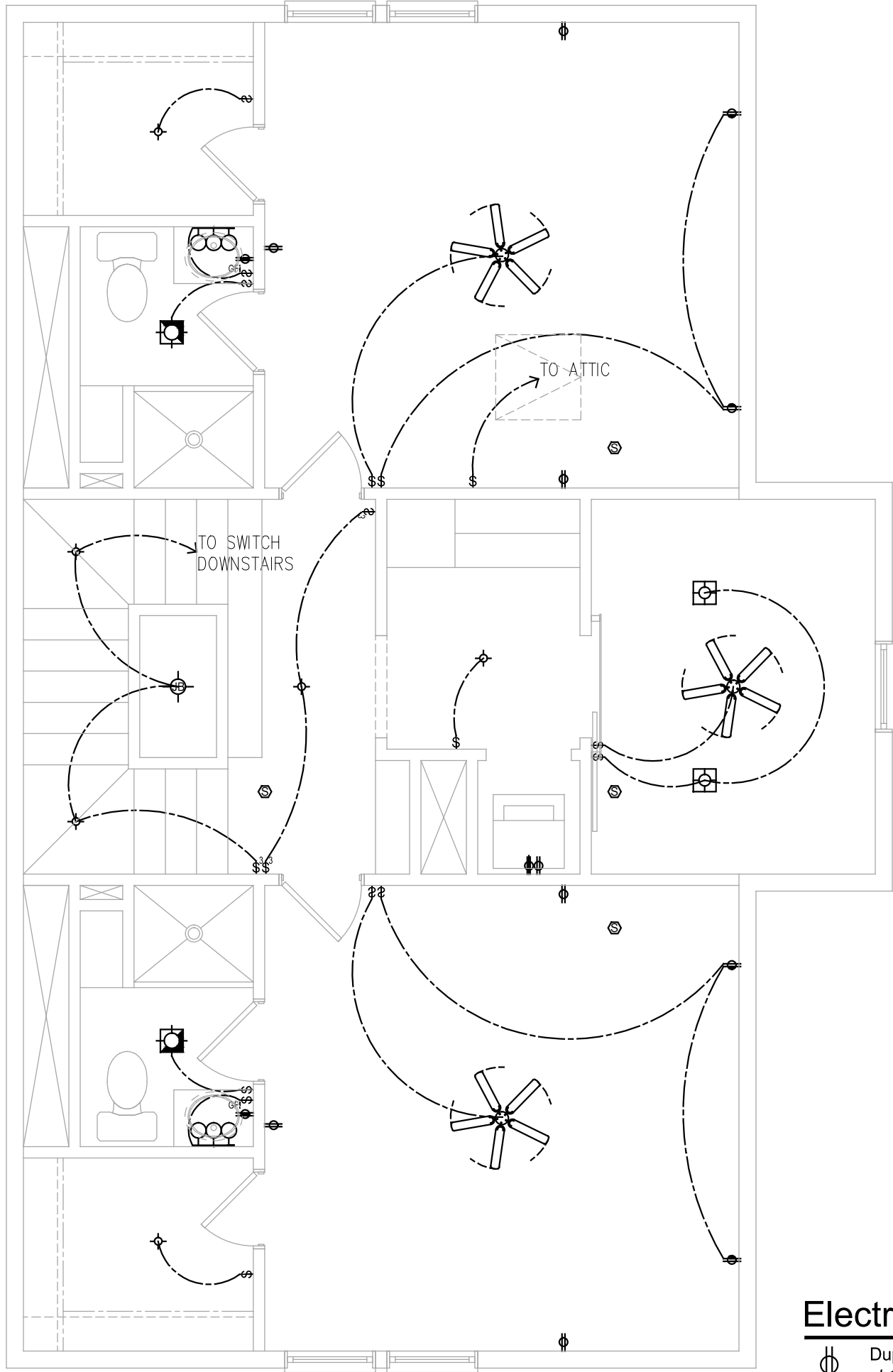
PROJECT:

LANDEN OAKS
AVA'S COTTAGE
BLUFFTON, SC

quirks PROJECT # LOM.01

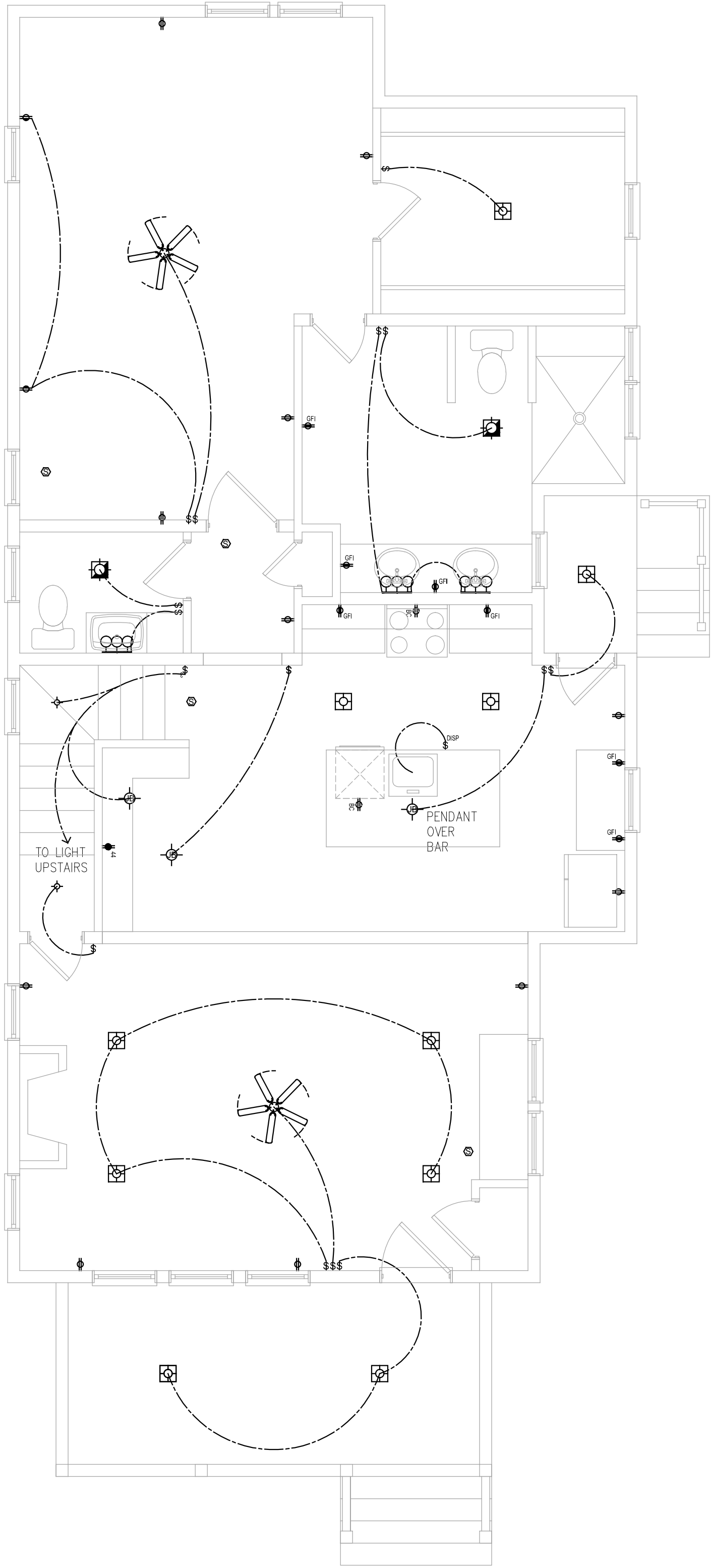
E1.0

ELECTRICAL PLANS



Electrical Symbols Legend

Duplex Outlet: Mount at 18" A.F.F., (Typical)	WP Switch: Weather Proof	Recessed Can Light Fixture
44 Duplex Outlet: Mounting Height as Shown	AC Switch: Above Counter	Recessed Can Light Fixture: Wall Washer
AC Duplex Outlet: Wall Mount Above Counter	DISP Switch: Sink Disposal	Recessed Can Light Fixture: Water Proof
Duplex Outlet: Half Switched	Data Outlet: Mount at 18" A.F.F.	Ceiling Mounted Light Fixture: Incandescent
GFI Duplex Outlet: Ground Fault Interrupt	Telephone Outlet: Mount at Height Shown	Wall Mounted Light Fixture: Mounting Height
220 Volt Outlet	TV Cable & Junction Box	Ceiling Mounted Light Fixture: Junction Box
WP Duplex Outlet: Wet Applications	Thermostat	Fluorescent 2x4 Ceiling Light Fixture
BC Duplex Outlet: Below Cabinet @ 18" A.F.F.	Carbon Monoxide Detector	Fluorescent 2x2 Ceiling Light Fixture
Duplex Outlet: Floor Mounted, Owner Verified	Smoke Detector	1x4 Fluorescent Under Cabinet Strip Lighting
Switch: Mounted at 44" A.F.F., (Typical)	Push Button	Vanity Light Fixture
Switch: 3 Way	Door Bell	Exhaust Fan w/ Light Fixture (Silent)
Switch: 4 Way	Electrical Panel	Exhaust Fan (Silent)
Plunger Switch in Door Jamb	Main Disconnect	Ceiling Fan
Switch: Dimmer Control	Accessory Disconnect	Attic Fan



SECOND FLOOR - ELECTRICAL

SCALE : 1/4"=1'-0"

FIRST FLOOR - ELECTRICAL

SCALE : 1/4"=1'-0"

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EMAIL:travis@quirks.global
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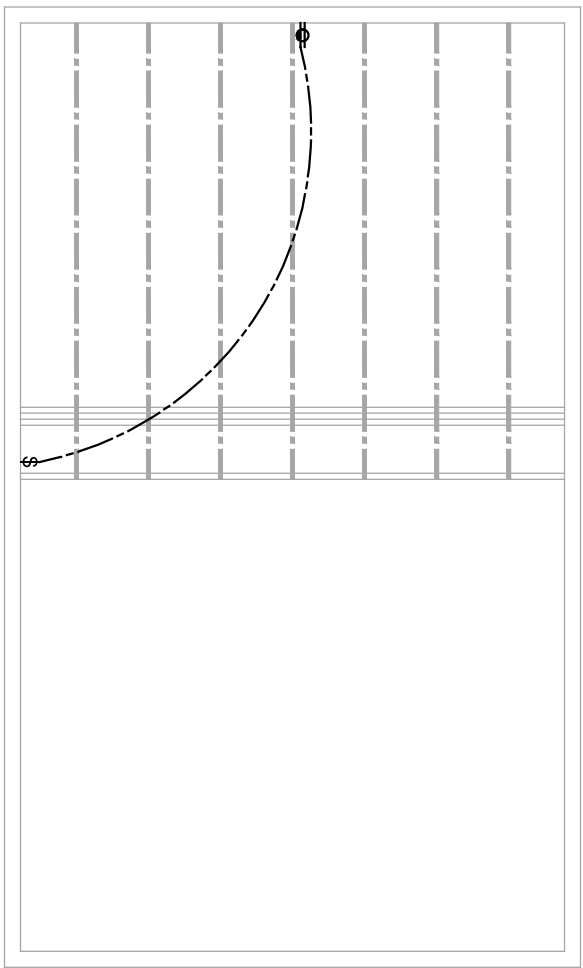
PROJECT:

LANDEN OAKS
AVA'S COTTAGE
BLUFFTON, SC

quirks PROJECT # LOM.01

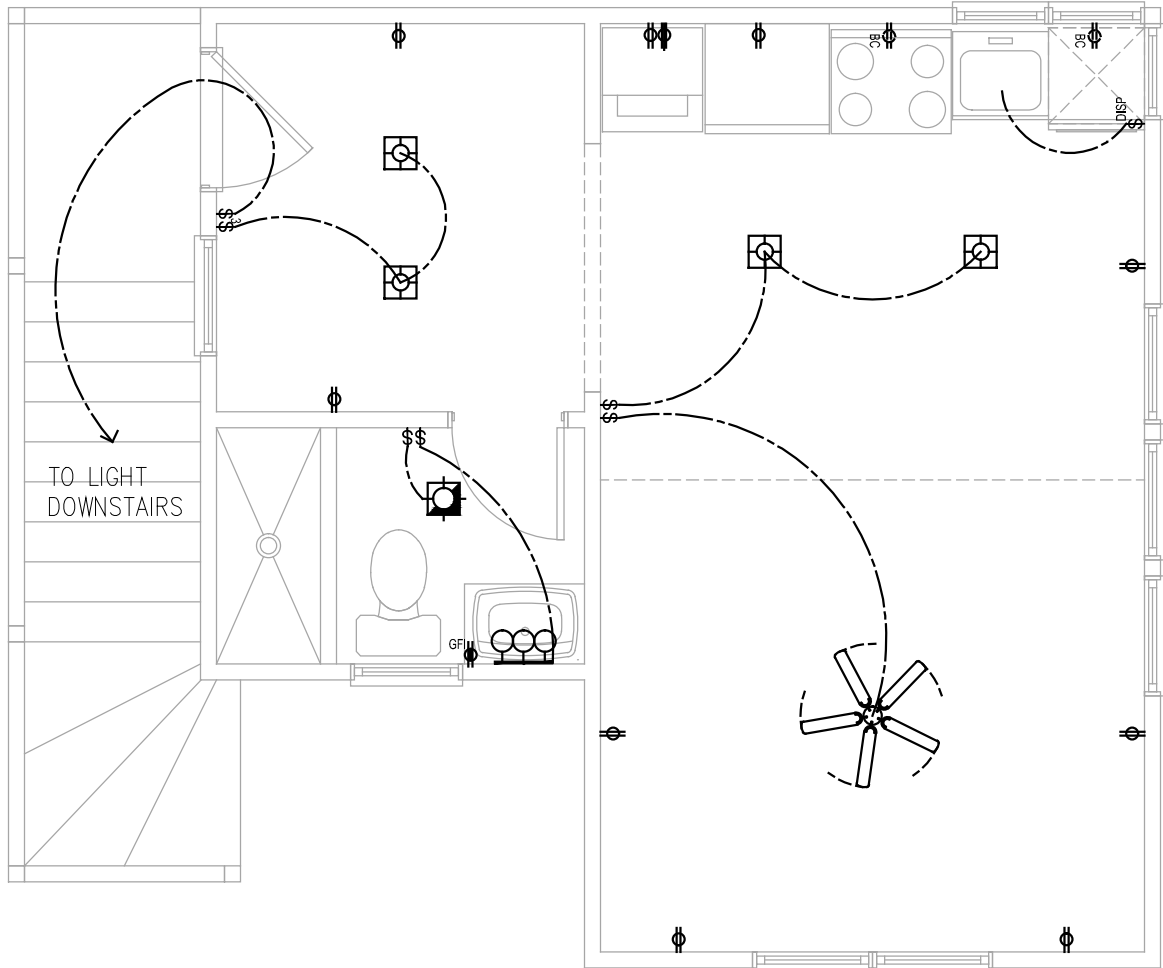
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GARAGE/LOFT
ELECTRICAL PLANS



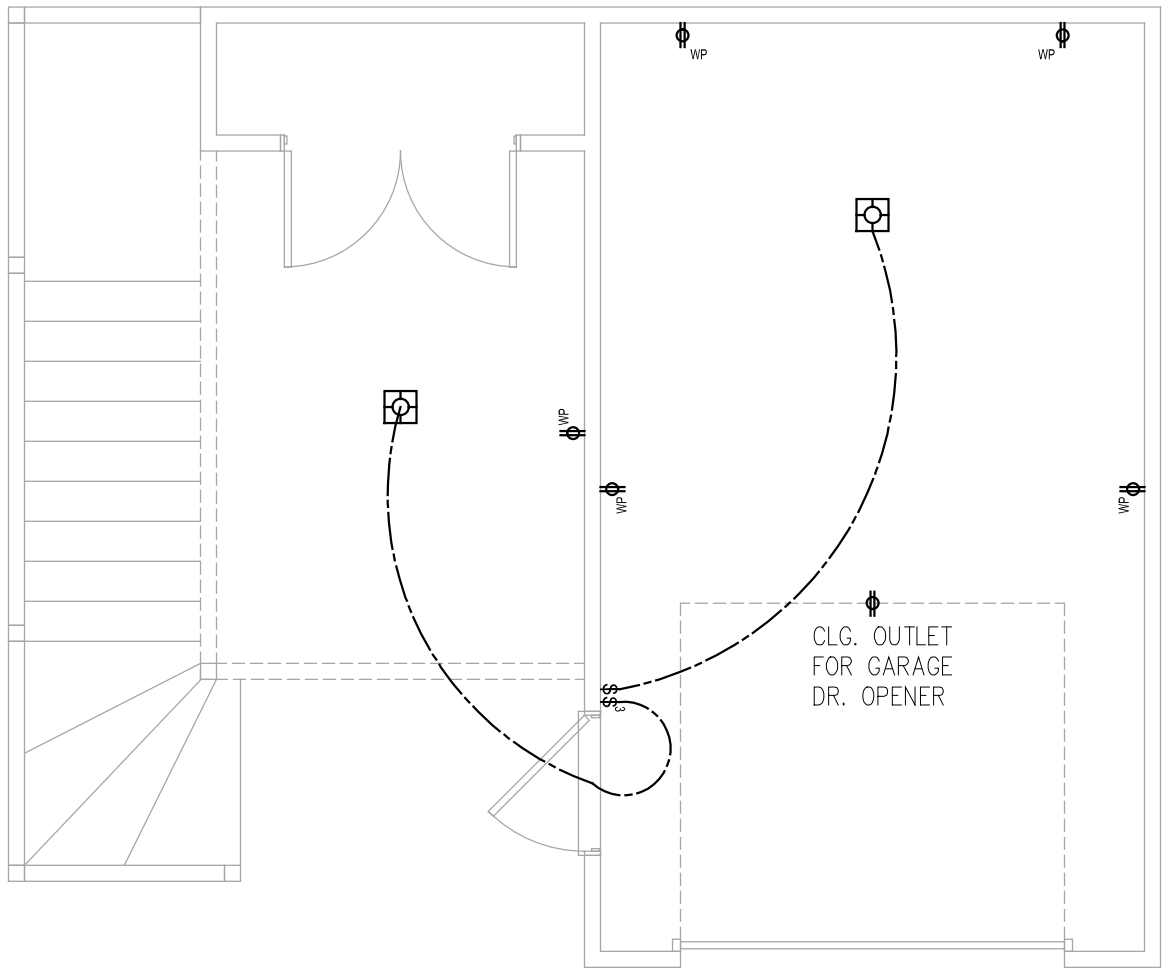
SLEEP LOFT - ELECTRICAL

SCALE : 1/4"=1'-0"



SECOND FLOOR - ELECTRICAL

SCALE : 1/4"=1'-0"



FIRST FLOOR - ELECTRICAL

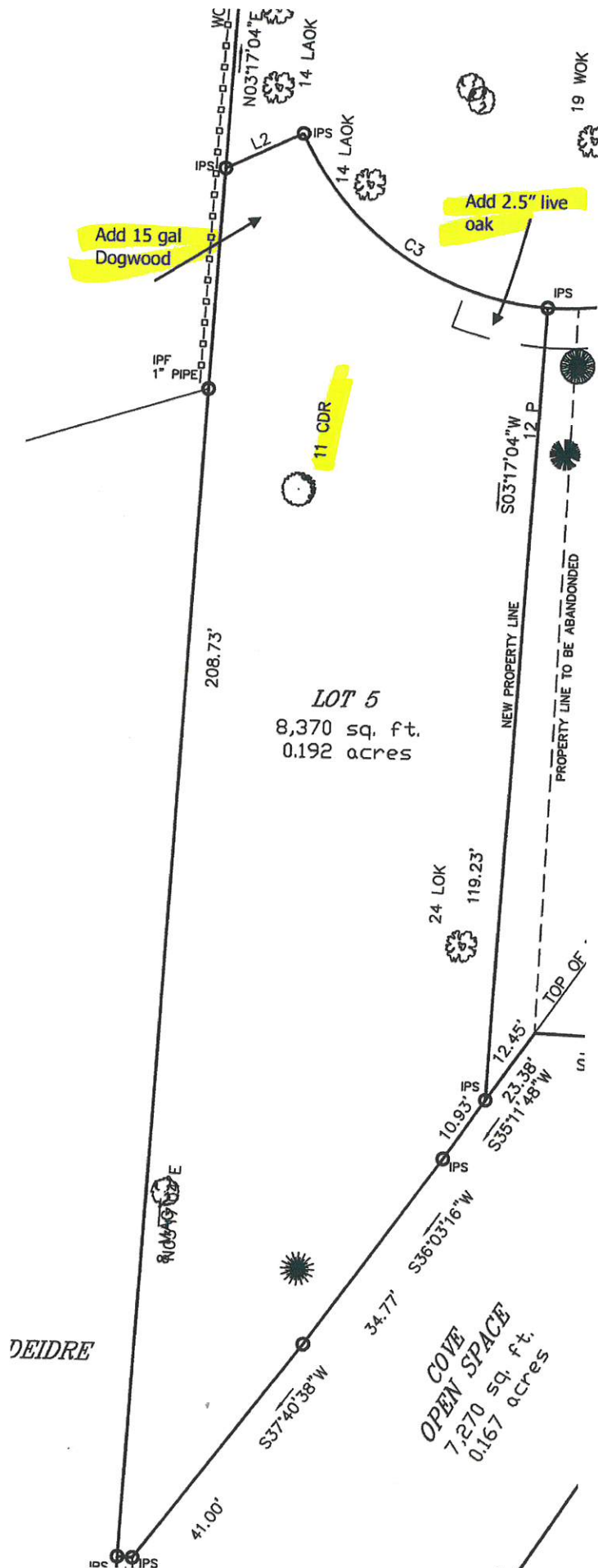
SCALE : 1/4"=1'-0"

Electrical Symbols Legend

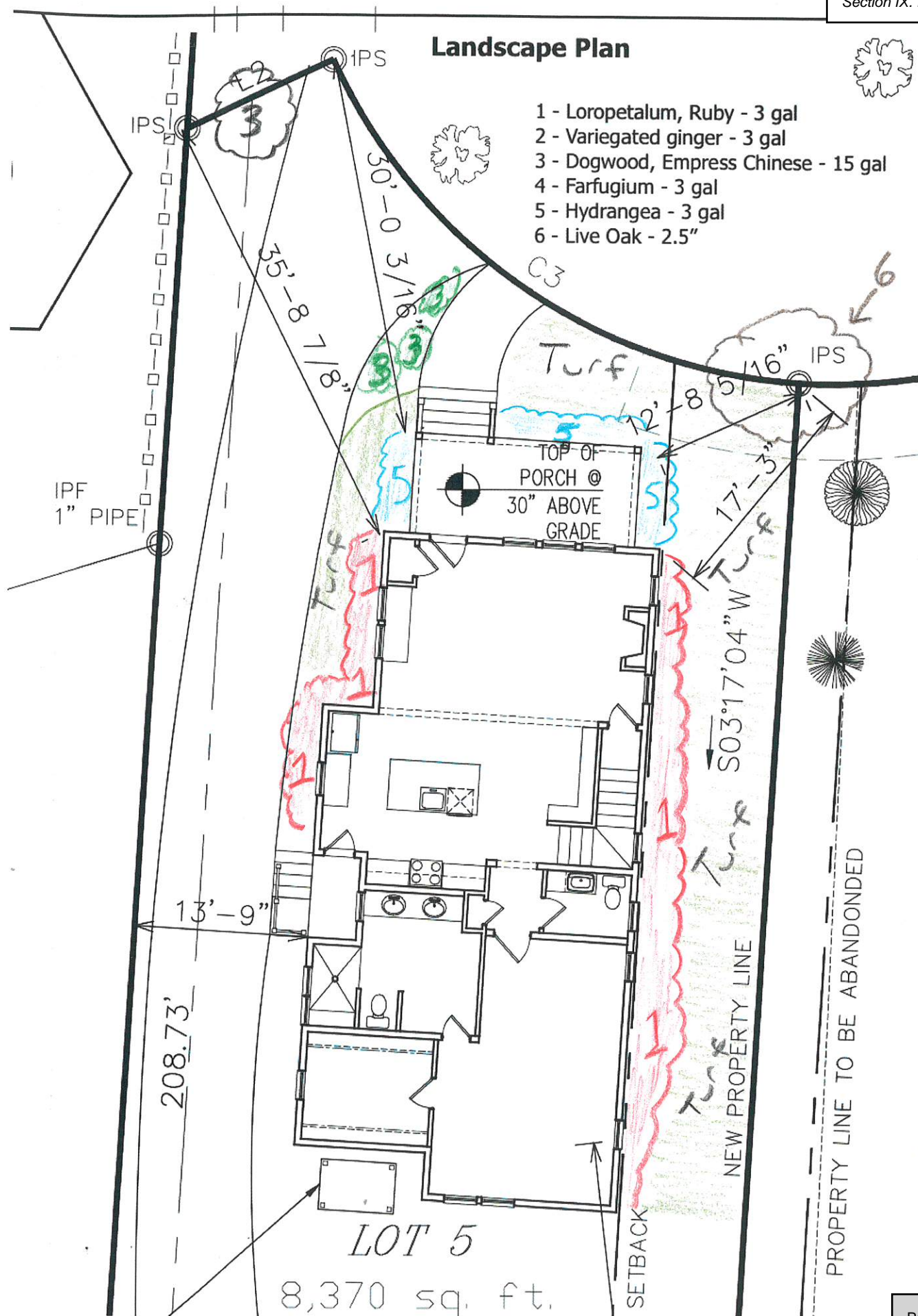
Duplex Outlet: Mount at 18" A.F.F. (Typical)	Switch: Weather Proof	Recessed Can Light Fixture
Duplex Outlet: Mounting Height as Shown	Switch: Above Counter	Recessed Can Light Fixture: Wall Washer
Duplex Outlet: Wall Mount Above Counter	Switch: Sink Disposal	Recessed Can Light Fixture: Water Proof
Duplex Outlet: Half Switched	Data Outlet: Mount at 18" A.F.F.	Ceiling Mounted Light Fixture: Incandescent
Duplex Outlet: Ground Fault Interrupt 220 Volt Outlet	Telephone Outlet: Mount at Height Shown	Wall Mounted Light Fixture: Mounting Height
Duplex Outlet: Wet Applications	TV Cable & Junction Box	Ceiling Mounted Light Fixture: Junction Box
Duplex Outlet: Below Cabinet @ 18" A.F.F.	Thermostat	Fluorescent 2x4 Ceiling Light Fixture
Duplex Outlet: Floor Mounted, Owner Verified	Carbon Monoxide Detector	Fluorescent 2x2 Ceiling Light Fixture
Switch: Mounted at 44" A.F.F. (Typical)	Smoke Detector	1x4 Fluorescent Under Cabinet Strip Lighting
Switch: 3 Way	Push Button	Vanity Light Fixture
Switch: 4 Way	Door Bell	Exhaust Fan w/ Light Fixture (Silent)
Plunger Switch in Door Jamb	Electrical Panel	Exhaust Fan (Silent)
Switch: Dimmer Control	Main Disconnect	Ceiling Fan
	Accessory Disconnect	Attic Fan

Lot 5 Tree Removal

The only tree to be removed from Lot 5 is an 11 inch cedar tree (highlighted on the following page). In order to increase the amount of canopy on this lot, we will be adding a 15 gal dogwood to the front right of the driveway and a 2 1/2 inch caliper live oak to the front left of the lot near the street.



- 1 - Loropetalum, Ruby - 3 gal
- 2 - Variegated ginger - 3 gal
- 3 - Dogwood, Empress Chinese - 15 gal
- 4 - Farfugium - 3 gal
- 5 - Hydrangea - 3 gal
- 6 - Live Oak - 2.5"





ATTACHMENT 6 PLAN REVIEW COMMENTS FOR COFA-06-21-015419

Section IX. Item #4.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
Landen Oak

Plan Type: Historic District **Apply Date:** 06/02/2021
Plan Status: Active **Plan Address:** 35 Meriwether Ct Court
BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 00A 0392 0000
Plan Description: A request BFL Builders for review of a Certificate of Appropriateness to allow the construction of a new two-story single-family residence of approximately 2,148 SF and a Carriage House of approximately 704 SF located at 35 Meriwether Court, identified as Lot 5 in the Landen Oaks development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

STATUS 6-3-2021: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the June 28, 2021 meeting.

Staff Review (HD)

Submission #: 1 Recieved: 06/03/2021 Completed: 06/24/2021

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Growth Management Dept Review (HD)	06/24/2021	Katie Peterson	Approved with Conditions

Comments:

1. Application proposed square footage not provided. Update application to address proposed total square footage in Section 3 Building Data.
2. Doors are permitted to be wood, metal, or metal-clad. Wood composite material may be considered by the UDO Administrator for non-contributing structures, if it is determined that the door will be consistent with the character of the Historic District and the materials used are of equal or better quality than traditional building material. When reviewing substitute materials, they shall follow the Arm's Length Rule which states: Substitute materials may be used for materials noted, but their appearance must be indistinguishable from the original at arm's length or less, and their performance must exceed that of the original if they are to be used below the second floor. Further, A primary goal of this the architectural standards for the Historic District is authenticity. The standards encourage Bluffton vernacular architecture and construction which is straightforward and functional, and which draws its ornament and variety from the traditional assembly of genuine materials. The application proposes the use of Fiberglass doors, which are not permitted. Revise door material to be wood, metal, metal clad, or, with cut sheets and material samples, composite wood for review by the UDO Administrator. (UDO Section 5.15.6.I.2.b., 5.15.6.A. and Traditional Construction Patterns Sections 6 and 20)
3. The exposed foundation wall is noted as Tabby on the application, but not specified on the elevations. The UDO allows for the use of Mixed Shell Tabby only on exposed foundation walls. Specify the shell size proposed for use on exposed foundation. (UDO Section 5.15.6.G.1.a.)
4. As the project moves toward Final submittal, provide architectural details for the typical window, water table trim, and a landscape plan as not enough information was provided in the submittal to review for conformance with the UDO. Note that the landscape plan should include 8' of foundation plantings along the front of the primary structure, street trees every 50' of development, and show the canopy coverage for the site. (Applications Manual)
5. Rough sawn wood, plywood, and aluminum are not permitted for soffit or cornice detailing. The application proposes the use of T-111, a plywood material, in the soffit. Revise to a permitted material. (UDO Section 5.15.6.P.10.)
6. A Village House is a Detached Single Family Residence with a size range between 1,200 and 2,400 square feet. It has a maximum footprint of 1,100 SF not including porches, a height of 2-2.5 stories. It almost always has a front porch, shall be narrower along the street front than it is deep, is typically positioned close to one of the adjacent property lines, has a forward facing gable roof on the principal mass and is typically between 20 and 30 feet wide. The proposed structure exceeds the footprint by 41 SF, however meets all other criteria of a Village House. Village House structures in the Neighborhood General-HD zoning district have a front build-to of 10'-15', rear setback of 30', and side setbacks of 15'. The proposed structure meets the front build-to at 15', but proposes 10' side setback on the left and 13' on the right. As it meets the characteristics of a Village House, it must meet the setbacks, or the structure be reconfigured to a different building type. (UDO Section 5.15.5.C. and 5.15.8.I.)
7. Provide additional information on the service yard and balcony areas as not enough information was provided to determine materials and configuration. (Applications Manual)
8. Carriage House structures must be of the same general character as the primary structure. The proposed Carriage House is identical to the Carriage Houses proposed on Lots 4 and 6, but has different roof pitches, detailing and window patterns than the primary structure. Revise Carriage House detailing to have a better relationship with the primary structure. (UDO Section 5.15.8.F. and 5.15.5.F.4.b.)
9. With the exception of the porch roof shape, the proposed structure is identical to the structures proposed on 25 and 30 Meriweather Court. The Old Town Master Plan demands robust, complete neighborhoods. Houses included in a complete neighborhood are not just one type; they are a range of housing types that occur on a variety of lot sizes. In order to maintain the character of the neighborhood, provide visual variety, and maintain the diversity that has always characterized Bluffton, incorporate additional changes to the structure's appearance (Old Town Master Plan, UDO Section 5.15.1.C.)
10. For final submittal, consider providing a streetscape showing the proposed house with those nearby to clarify variation in the designs.
11. Driveways shall be a maximum of 10 feet wide in front of the principal plane of the building. The driveway is proposed at approximately 12'. Reduce the driveway width in front of the principal plane of the building. (UDO Section 5.15.7.H.2.)

Watershed Management Review	06/24/2021	William Baugher	Approved with Conditions
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Comments:

1. Approved, with the condition that when Building Permit application is submitted a Stormwater Permit application is also submitted.

Building Safety Review	06/03/2021	Richard Spruce	Approved with Conditions
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Comments:

3 Jun 21 - RAS

Keep in mind that the measurement for the 30-inches above grade for the guardrails is measured 36-inches horizontally from the edge of the walking surface.

Beaufort Jasper Water and Sewer Review	06/24/2021	James Clardy	Approved
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Comments:

1. No comments provided by reviewer.

HPRC Review	06/24/2021	Katie Peterson	Approved
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Comments:

1. No comments provided by reviewer.

Transportation Department Review - HD 06/24/2021

William Howard

ATTACHMENT 6

Approved

Section IX. Item #4.

Comments:

1. No comments provided by reviewer.

Addressing Review

06/09/2021

Nick Walton

Approved

Comments:

1. No comment.

Plan Review Case Notes: